



AGENDA OF THE REGULAR MEETING OF
THE CITY COUNCIL
CITY OF BIRCHWOOD VILLAGE
WASHINGTON COUNTY, MINNESOTA
August 10, 2021
7:00 P.M.

NOTE: Due to Open Meeting Law restrictions, the City Council may be discussing agenda items for the first time. Your patience and understanding is appreciated during this process.

CALL TO ORDER

In light of the status of the ongoing Covid-19 health pandemic the City of Birchwood Village is conducting its August meeting using interactive web-based technology. Pursuant to Minnesota Statutes, Chapter 13D. 021 Subdivision 1(1) the City of Birchwood is declaring that, “an in-person meeting or a meeting conducted under section 13D.02 is not practical or prudent because of a health pandemic...”

The meeting will be conducted using the Zoom meeting platform and the details of that are directly below for participating. If you plan to attend it is suggested that you familiarize yourself with the technology in advance. If you plan to participate than you must either 1) send your name, topic you plan to speak on, and the phone number you will be calling from to City Hall by noon the day before the meeting; or 2) join the meeting no later than 6:50pm to coordinate with the Moderator.

The Moderator of the meeting shall be City Administrator Andy Gonyou and all participants, except Council Members, shall have their microphones muted unless recognized by the Mayor. Public Forum shall be honored using this technology and the meeting will be broadcast via the Cable Commission like other meetings.

Topic: Birchwood Village August 2021 City Council Meeting

Time: **August 10, 2021 07:00 PM** Central Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/87581101994?pwd=ZmsrWWRJZUhocFBnUDF3akNvdkN4UT09>

Meeting ID: 875 8110 1994

Passcode: 646128

PLEDGE OF ALLEGIANCE

APPROVE AGENDA

OPEN PUBLIC FORUM

ANNOUNCEMENTS

- A. We are social, follow us on Facebook/Twitter and/or register for the email listserv
- B. Music in the Park concert series runs every Sunday at 6:00pm in Tighe-Schmitz Park

- C. Birchwood Village will host an event for the City's 100 year anniversary on September 10th, 2021. More information to come.

ADMINISTRATIVE PRESENTATION

- A. Sheriff Report* (pp. 3-8)
- B. Planning Commission June Meeting Minutes* (pp. 9-10)

CITY BUSINESS – CONSENT AGENDA

- A. Approve Schifsky's Crackfill Citywide - \$5,000 (Time & Materials)
- B. Approve July 13 2021 Regular Meeting Minutes* (pp. 11-17)
- C. Approve July 26 2021 Special Meeting Minutes* (pp. 19-20)
- D. Approve August 2 2021 Special Meeting Minutes* (p. 21)
- E. Approve Treasurer's Report* (pp. 103-115)

CITY BUSINESS – REGULAR AGENDA

- A. Variance Case No. 21-03-VB for 143 Wildwood Avenue* (pp. 23-92)
 - a. Council Deliberation
Time Budget: 20 Minutes
- B. Lake Links Trail Update
 - a. Council Deliberation
Time Budget: 5 Minutes
- C. 2022 Budget Workshop*(pp. 94-98)
 - a. Council Deliberation
Time Budget: 5 Minutes
- D. 2022 Redistricting
 - a. Council Deliberation
Time Budget: 5 Minutes
- E. Deer Hunt Contract*(pp. 100-102)
 - a. Council Deliberation
Time Budget: 10 Minutes
- F. Council Member Reports:
 - a. Mayor Wingfield
 - i. Survey White Pine Path
 - 1. Official Request to City of Mahtomedi
 - ii. 2040 Comp Plan Update
Time Budget: 5 Minutes
- G. City Administrator Report
 - a. Preliminary Washington County 2022-2026 Capital Improvement Plan
Time Budget: 5 Minutes
- H. Old Business
 - a. Roof Bids
Time Budget: 5 Minutes

ADJOURN

*Denotes Item with Supporting Material

MEMORANDUM



TO: Birchwood Village City Council
FROM: Andy Gonyou, City Administrator
SUBJECT: Sheriff Report
DATE: August 5, 2021

Dear Mayor & City Council Members: The following pages are a report of law enforcement incidents and citations for July 2021:



WASHINGTON COUNTY SHERIFFS OFFICE

BIRCHWOOD VILLAGE - 34

7/1/2021 3:52:36 AM	WC21030555	10XXX -190 WILDWOOD AVE, BIRCHWOOD VILLAGE	DIRECTED PATROL
Directed patrol. No suspicious/criminal activity observed. Clear.			
7/1/2021 8:20:15 AM	WC21030570	18XXX -199 CEDAR ST, BIRCHWOOD VILLAGE	DIRECTED PATROL
Patrolled area of Birchwood village, no traffic violations observed.			
7/2/2021 7:52:00 AM	WC21030769	30XXX -427 HALL AVE, BIRCHWOOD VILLAGE	DIRECTED PATROL
Patrolled area of Birchwood Village, no traffic violations observed.			
7/2/2021 2:06:02 PM	WC21030818	XXX Wildwood Ave, BIRCHWOOD VILLAGE	INCIDENT
I spoke to the caller by phone. She reports that today she noticed her vehicle is missing the front plate. It was either stolen or it fell off, she doesn't know where or when it happened. I gave caller the case number.			
7/3/2021 10:17:27 AM	WC21030997	30XXX -427 HALL AVE, BIRCHWOOD VILLAGE	DIRECTED PATROL
Patrolled area of Birchwood Village, no traffic violations observed.			
7/3/2021 6:09:43 PM	WC21031128	XXX Wildwood Ave, BIRCHWOOD VILLAGE	WELFARE CHECK
Received a welfare check call regarding the caller's spouse who wasn't feeling well and not returning his calls. See comments.			
7/3/2021 7:25:08 PM	WC21031147	XXX Cedar St, BIRCHWOOD VILLAGE	OFFICER INFORMATION
Comp reported his analyst saw on Facebook that a gang would be filming a music video at the park in Birchwood.			
7/4/2021 12:39:02 AM	WC21031216	1-3 PARK AVE, BIRCHWOOD VILLAGE	DIRECTED PATROL
Directed patrol. No suspicious/criminal activity observed. Clear.			
7/4/2021 11:32:24 AM	WC21031302	XXX Wildwood Ave, BIRCHWOOD VILLAGE	LOCKOUT
Vehicle unlocked for comp. Wavier signed.			
7/4/2021 6:18:21 PM	WC21031413	Cedar St / Birchwood Ave, BIRCHWOOD VILLAGE	ROAD HAZARD
Downed electrical line. Fire on scene. Clr.			
7/5/2021 11:17:37 AM	WC21031593	XXX CEDAR ST, BIRCHWOOD VILLAGE	CITIZEN/PUBLIC ASSIST
Comp requested assistance contacting her son who was living with his girlfriend's family in Birchwood. Advised comp they no longer live in Washington County but I would try to contact the girlfriend's mom. Left message for the mother.			
7/6/2021 8:32:24 PM	WC21031852	XXX Birchwood Ave, BIRCHWOOD VILLAGE	WEATHER INCIDENT
Electrical lines arcing. Xcel on scene and shut off power and called out tree crew.			
7/9/2021 7:34:32 AM	WC21032208	10XXX -190 WILDWOOD AVE, BIRCHWOOD VILLAGE	DIRECTED PATROL
Patrolled area of Birchwood Village, no traffic violations observed.			
7/9/2021 3:48:44 PM	WC21032290	XXX Wildwood Ave, BIRCHWOOD	THEFT

VILLAGE

Spoke with comp regarding a theft which occurred in January. See Supplemental to WC21003250.

7/10/2021 9:04:14 AM WC21032431 40XXX -599 WILDWOOD AVE, DIRECTED PATROL
BIRCHWOOD VILLAGE

Patrolled area of Birchwood Village, no traffic violations observed.

7/11/2021 1:23:11 AM WC21032609 Wildwood Ave / East County Line Rd, ASSIST OTHER AGENCY
BIRCHWOOD VILLAGE

Acted as cover officer for White Bear Lake PD during a traffic stop. Cleared without incident.

7/11/2021 9:43:32 AM WC21032636 50XXX -699 HALL AVE, DIRECTED PATROL
BIRCHWOOD VILLAGE

Patrolled area of Birchwood Village, no traffic violations observed.

7/11/2021 9:39:17 PM WC21032763 XXX Wildwood Ave, BIRCHWOOD FRAUD/SCAM
VILLAGE

RP called and advised she received an email attempting to have RP purchase gift cards and send the information via email. There was no loss. No further information at this time.

7/12/2021 3:35:55 AM WC21032796 50XXX -699 HALL AVE, DIRECTED PATROL
BIRCHWOOD VILLAGE

Directed patrol. No suspicious/criminal activity observed. Clear.

7/12/2021 7:19:31 AM WC21032800 XXX Wildwood Ave, BIRCHWOOD THEFT FROM MOTOR VEHICLE
VILLAGE

Tools stolen from comp's vehicle over night. See report.

7/12/2021 12:51:05 PM WC21032842 XXX Wildwood Ave, BIRCHWOOD THEFT FROM MOTOR VEHICLE
VILLAGE

Theft overnight. See report.

7/12/2021 1:17:33 PM WC21032847 EAST COUNTY LINE RD, TRAFFIC STOP
BIRCHWOOD VILLAGE

Observed vehicle traveling North on Century Ave at what appeared to be faster than the posted speed of 35 mph. Activated my front facing radar on target vehicle and verified 55/35. TS. Driver did not have DL or POI in possession. Verbal warn for speed and DL. Cited for no POI.

7/14/2021 10:56:33 PM WC21033287 XXX Jay St, BIRCHWOOD VILLAGE WELFARE CHECK

Comp just got out of detox and sounded very intoxicated. Comp wanted welfare check done on his kids. On scene front door was ajar. Juv came home and woke up mother inside. All is well.

7/15/2021 4:11:08 PM WC21033382 XXX LAKE AVE, BIRCHWOOD TRAFFIC STOP
VILLAGE

Traffic stop - 28mph/20mph zone, citation issued.

7/17/2021 12:15:46 AM WC21033695 20XXX -220 BIRCHWOOD AVE, DIRECTED PATROL
BIRCHWOOD VILLAGE

Directed patrol. No suspicious/criminal activity observed.

7/18/2021 8:18:31 AM WC21033960 50XXX -699 HALL AVE, DIRECTED PATROL
BIRCHWOOD VILLAGE

Patrolled area of Birchwood Village, no traffic violations observed.

7/20/2021 10:48:29 AM WC21034383 XXX Wildwood Ave, BIRCHWOOD UNWANTED PERSON/VEHICLE
VILLAGE

Spoke with comp who stated brother was staying at residence. Comp stated brother had a warrant. Attempted to make contact where brother was staying but he was not home. Homeowner stated he does not live at address and comes around once in a while.

7/23/2021 8:36:28 PM WC21035062 XXX HALL AVE, BIRCHWOOD DIRECTED PATROL
VILLAGE

Patrolled area of Birchwood Village, no traffic violations observed.

7/24/2021 4:01:00 AM WC21035121 XX OAKHILL CT, BIRCHWOOD VILLAGE MEDICAL

Responded to report of youth having a difficult time breathing.

Upon arrival I found White Bear Lake medics already on scene. Medics advised they did not need any assistance from me.

7/25/2021 8:07:31 AM WC21035335 50XXX -698 HALL AVE, BIRCHWOOD VILLAGE DIRECTED PATROL

Patrolled area of Birchwood Village, no traffic violations observed.

7/25/2021 8:37:50 AM WC21035339 XXX Birchwood Ave, BIRCHWOOD VILLAGE NOISE COMPLAINT/DISTURBANCE

Comp reported that she could hear a dog barking from somewhere to the west of her property. I drove through area multiple times w/o hearing any barking. She informed me that barking started around 7:30am. I advised her of local ordinance.

7/25/2021 10:45:17 AM WC21035355 XXX Hall Ave, BIRCHWOOD VILLAGE ANIMAL COMPLAINT

Received complaint concerning neighbor's dog, attempted to call RP without success; left voicemail and received no call back. Checked area, complaint unfounded.

7/26/2021 7:42:26 AM WC21035483 34XXX -399 WILDWOOD AVE, BIRCHWOOD VILLAGE DIRECTED PATROL

Patrolled are of Birchwood Village, no traffic violations observed.

7/28/2021 6:49:45 AM WC21035849 3XXX East County Line Rd, BIRCHWOOD VILLAGE MEDICAL

Unknown medical. Made contact with a male who was sleeping. No drugs or alcohol, cleared by medics. Sent male on his way.

TOTAL INCIDENTS: 34

Citations for: Birchwood

7/1/2021 To 7/31/2021

Agcy	Date	Citation Number	Badge	Officer Name	Citation Type	Block	Street Name	Str Sfx	Cross Street Name	Cross St Sfx	City	Literal Description	Statute
WCSO	7/12/2021	820031119301	WC1297	R. Corniea	Citation	0	CENTURY AVE		RIVIERA DR N		Birchwood	Traffic Regulation - Driver Must Carry Proof of Insurance when Operating Vehicle	169.791.2(a)
WCSO	7/15/2021	820006119601	WC1277	T. Jarrett	Citation	0	WILDWOOD AVE		HALL AVE		Birchwood	MOV-Fail to Drive with Due Care	169.14.1

REGULAR MEETING MINUTES (Draft)

Birchwood Planning Commission Meeting

Meeting at City Hall – 7:00 PM Meeting 6/24/2021

Submitted by Michael Kraemer – acting secretary

COMMISSIONERS PRESENT: Andy Sorenson – Chairman, Michelle Maiers-Atakpu , Ryan Hankins, Michael Kraemer, .

COMMISSIONERS ABSENT: none

OTHERS PRESENT: None

1. CALL TO ORDER Meeting called to order by Chairman Andy Sorenson at 7:02 pm.
2. APPROVE AGENDA
 - a. Motion by Ryan Dankins, second by Michelle Maiers-Atakpu to approve the agenda, Approved unanimously.
3. PUBLIC INQUIRY
 - a. Chairman Sorenson presented an email dated 6.23.2021 received by him from Amy DeYoung (309 Wildwood Ave) inquiring assistance on the process needed to change her driveway from gravel to concrete. She indicated that by her estimate the impervious surface of her property was approximately 28%.
 - b. The Commission recommended the best way to provide assistance and guidance was to have Chairman Sorenson put Ms. DeYoung in contact with City Planner – Doug Danks and City Engineer – Steve Thatcher so they can provide guidance on the process and next steps.
4. AGENDA ITEM A – Proposed Permitting Checklist Review and Discussion
 - a. An updated edition of the Village Code – Permitting Checklist prepared by Commissioner Dankins was presented and reviewed by the Commission. The Commission reviewed the Permitting Checklist document in concert with the newly developed supporting Permitting Applications forms prepared by Deputy City Administrator - Jackie Onischuk.
 - b. Next Steps
 - i. Commissioner Dankins will make suggested edits to the Permitting Checklist and submit the edited version to City Council for permission to post the documents on the Village web site.
 - ii. The Planning Commission took the liberty of reviewing the Permitting Applications and Commissioner Dankins will forward the proposed edits to Jackie Onischuk for consideration.
 - c. The Commission would like to commend Planning Commission Dankins and Deputy City Administrator – Onischuk for the outstanding job they did preparing these helpful and well-conceived documents.
5. AGENDA ITEM B – Review/Approval of 5.17.2021 Joint Meeting (Council/Planning Commission) Minutes
 - a. Motion by Commissioner Maiers-Atakpu, Second by Commissioner Dankins to approved minutes as edited. Motion passed unanimously. Vote Yes-4, No-0.

6. AGENDA ITEM C – Review and Approval of 5.27.2021 Meeting Minutes: Motion by Commissioner Hankins, second by Commissioner Maiers-Atakpu to approve the minutes as edited. Motion passed unanimously. Vote: Yes - 4, No - 0.
7. Adjournment
 - a. At 8:49 PM motion was made by Commissioner Kraemer and second by Commissioner Maiers-Atakpu to adjourn the meeting. Motion passed unanimously. Vote: Yes - 4, No – 0.

**MINUTES
REGULAR MEETING
CITY OF BIRCHWOOD VILLAGE
JULY 13, 2021**

CALL TO ORDER

Mayor Wingfield called the meeting to order at 7:00pm

MEMBERS PRESENT: Mayor Mary Wingfield, Councilmembers: Mark Foster, Justin McCarthy, John Fleck, Kevin Woolstencroft

STAFF PRESENT: City Administrator Andy Gonyou, City Attorney, H. Alan Kantrud

PLEDGE OF ALLIGIANCE

APPROVE AGENDA

Councilmember McCarthy wanted to add

1. Parking exceptions
2. Updated picture of the intersection that Andy will be able to provide
3. Andy's valuation was to be under his name

City Administrator Gonyou to add a few items:

1. City Administrator valuation to go under his name
2. The first reading of the Amendment to City Code section 301.055

Mayor Wingfield would like to add:

1. talk about the radio tower for the water meters to be put at end of meeting
2. Talk about Hall's Marsh and Elm Easement
3. Under Old Business need to talk about fence code, deer management, and irrigation permits
4. Damage on the pavement on 221 Wildwood, after item c

MOTION MADE BY COUNCILMEMBER MCCARTHY TO APPROVE THE AMENDED AGENDA. SECONDED BY COUNCILMEMBER FOSTER. AYES: ALL MOTION PASSED

OPEN PUBLIC FORUM

1. Barton Winter (1 Five Oaks La)
 - a. discussed the maintenance of the hockey rink
 - b. Minutes are not updated for June
 - c. Discussed the property on Cedar

ANNOUNCEMENTS

- A. We are social, follow us on Facebook/Twitter and /or register for the email listserv
- B. Music in the Park concert series runs every Sunday at 6:00pm in Tighe-Schmitz Park
- C. Birchwood Village will host an open house for the City's 100 year anniversary on September 10th, 2021.
Will be working with signage that is on for discussion later.
- D. A set of tree loppers was lost at Bloomquist park. Please return to/call City Hall if found
- E. Chipping volunteers are needed, if interested contact Mayor Wingfield.
- F. 4th of July was a success
- G. Centennial shirts for sale at Market Fest at White Bear Historical Society

ADMINISTRATIVE PRESENTATION

- A. Sheriff Report

CITY BUSINESS-CONSENT AGENDA

A. Approve Regular Meeting Minutes from June 8, 2021

- 1, page 3 – “decided to sell the trailer”
2. Park benches should add “privacy of residents”

MOTION WAS MADE BY COUNCILMEMBER WOOLSTENCROFT TO APPROVE THE MINUTES OF JUNE 8, 2021 WITH THE CHANGES. SECONDED BY COUNCILMEMBER FLECK. AYES: ALL MOTION PASSED

B. Approve Treasurers Report

1. Question about a \$11,340 charge for street roads and maintenances to Schifsky. This charge should be split, since it also includes water main breaks, some should come out of the water fund, and the general fund.

MOTION WAS MADE BY COUNCILMEMBER MCCARTHY TO APPROVE THE TREASURERS REPORT. SECONDED BY COUNCILMEMBER WOOLSTENCROFT. AYES: ALL. MOTION PASSED

C. Approve Resolution 2021-17, Joint Powers Agreement with State of MN

1. Councilmember McCarthy wants to make sure that the language of the resolution authorizes the City to do both agreements. At end of agreement under **WHEREAS**, to add the wording of, “This includes the court date of services subscribed by agreement”

MOTION MADE BY COUNCILMEMBER WOOLSTENCROFT TO APPROVE RESOLUTION 2021-17 AS ADMENDED. SECONDED BY COUNCILMEMBER MCCARTHY. AYES: ALL. MOTION PASSED.

D. Approve Resolution 2021-16 Appointing City Tree Inspector

1. Mayor Wingfield would like to add language under: **WHEREAS**: John Lund is willing to perform tree inspections and educational outreach

MOTION WAS MADE BY COUNCILMEMBER FLECK TO ACCEPT RESOLUTION 2021-16 AS AMENDED. SECONDED BY COUNCILMEMBER MCCARTHY. AYES: ALL MOTION PASSED

E. Approve Resolution 2021-18, Hiring of City Treasurer

Discussion was made to change the title of City “Treasurer” to “Assistant Treasurer”

MOTION WAS MADE BY COUNCILMEMBER MCCARTHY TO PASS RESOLUTION 2021-18 AS AMENDED. SECONDED BY COUNCILMEMBER FLECK. AYES: ALL. MOTION PASSED

CITY BUSINESS – REGULAR AGENDA

A. Parks Capital Improvement Plan

a. Public Hearing

- i. Barton Winter (1 five Oaks) talked about maintenance of the hockey rink
- ii. Susan Mahoney (474 Lake Ave) talked about improving the area of 9 and 10 White Pine La for a waking path for walkers to use instead of using Hall Ave. Property owned by both Birchwood and Mahtomedi.

MOTION WAS MADE BY COUNCILMEMBER FLECK TO CLOSE THE PUBLIC HEARING. SECONDED BY COUNCILMEMBER FOSTER. AYES: ALL. MOTION PASSED

Mayor Wingfield talked further on the Park Capital Improvement Plan (page 52), read off the list on “immediate” projects and said that Birch Beach is done, will update council with the rest of them which should be done by end of year. Ash Beach need caps on top of retaining wall and move to “In Due Time” and move Owl to “Immediate”. Elm/East Wildwood Park to be moved to Immediate from In Due Time.

Susan Mahoney is concerned about the open pipes that are not covered with wire. Possible safety hazard for kids.

MOTION WAS MADE BY MAYOR WINGFIELD TO APPROVE THE PARKS CAPITAL IMPROVEMENT PLAN AS AMENDED. SECONDED BY COUNCILMEMBER MCCARTHY. AYES: ALL. MOTION PASSED

b. Mayor Wingfield brought up the pathway as mentioned by Susan Mahoney that it would be nice to be a helper to get a path established, Sue Fleck and Cynthia Thomlison also showed interest.

MOTION MADE BY MAYOR WINGFIELD TO CREATE A TASK FORCE OF SUSAN MAHONEY, SUE FLECK AND CYNTHIA THOMLISON TO DEVELOP THE CONCEPT OF A CONNECTION BETWEEN BIRCHWOOD AVE AND WHITE PINE TO COORDIATE WITH MAHTOMEDI IN CREATING SOME LINER PATH WITH MINIMUM INTRUSION. SECONDED BY COUNCILMEMBER WOOLSTENCROFT. AYES; ALL. MOTION PASSED

B. Appoint Planning Commissioner

a. Review Candidates and Appoint a commissioner

- i. Joe Evans – Was at meeting and talked about his qualifications
- ii. Michael McKenzie
- iii. Paul Edwards

b. Council had discussion on the applicants

MOTION WAS MADE BY COUNCILMEMBER FLECK APPOINT JOE EVANS TO FILL THE VACANCY. SECONDED BY COUNCILMEMBER WOOLSTENCROFT. AYES; WOOLSTENCROFT, FLECK, WINGFIELD – NAYS: FOSTER, MCCARTHY. MOTION PASSED

C. Appoint White Bear Lake Conservation District Representative

a. Review Candidates and Appoint Representative

- i. Amanda Stanhope
- ii. Darren Deyoung – Was at meeting and talked about his qualifications
- iii. Michael McKenzie

b. Council had discussion on the applicants

MOTION WAS MADE BY MAYOR WINGFIELD TO APPOINT DARREN DEYOUNG TO REPRESENT THE CITY OF BIRCHWOOD ON THE VACANCY ON THE WHITE BEARE LAKE CONSERVATION DESTRICT FOR A 3 YEAR TERM STARTNG THIS MONTH. SECONDED BY COUNCILMEMEMER WOOLSTENCROFT. AYES: FOSTER, MCCARTHY, WINGFIELD, WOOLSTENCROFT. NAYS: FLECK. MOTION PASSED.

Added by Mayor Wingfield for discussion:

Damage on the pavement on 221 Wildwood

- i. Spoke with Steve Thatcher who went out to property along with representative from Schifsky that the repair would be \$2500. Can repair pothole for \$500.
- ii. Mayor Wingfield said would be willing to pay the repair or the pot hole for \$500.
- iii. Question about the park damage
 - a. parking on road caused damage to Wildwood park. Need a long term solution
 - b. The contractor is willing to fix the park to the cities approval. Mayor wants to revisit it in August to see how it recovers

D. City Slogan

a. Review and Discuss

- i. Nothing was selected and will come back with more suggestions

E. Wildwood Park

a. Review and Discuss

- i. Councilmember McCarthy suggested to put something unique and cool in that space for kids to play
- ii. Was thought that Wildwood Park was not a great space for kids due to the two roads on both sides
- iii. Was suggested that maybe Birch Beach would be a good place for a play area
- iv. Looking to apply for grants or fundraising

F. Scheduling of Special Meeting (Mayor Wingfield)

a. Discuss and Potentially Schedule Special Meeting

- i. Subdivision Code First Reading
- ii. Meeting with White Bear Lake Fire and Water Contracts
- iii 15 Birchwood Lane homeowners

b. Meeting set for Monday, July 26 at 6:00pm

G. Park Signage

a. Review and Discuss

- i. Bloomquist
- ii. Tighe-Schmitz
- iii. Wildwood Park

b Designed by Sarah Marko Hanson with the White Bear Historical Society

c. Received a grant for \$10,000 from the Clean Water Land and Legacy Fund

d. Mayor Wingfield asked council to approve the difference of the grant \$10,00 to the actual cost of \$16,407 or \$14,607 and have it come out of the Parks Fund

e. Final design on the folders of the signs need clarification

f. City would install

MOTION MADE BY MAYOR WINGFIELD TO AUTHORIZE WHITE BEAR LAKE HISTORICAL SOCIETY TO ACT AS OUR AGENT FOR THIS PROJECT IN COORDINATING THE DESIGN, THE PRODUCTION AND THE AUTHOIIIZATION FOR GOING FORWARD. SECONDED BY COUNCILMEMBER FOSTER. AYES: ALL. MOTION PASSED

H. Lake Links Trail (Mayor Wingfield)

a. Update

- i. Mayor Wingfield explained what Mahtomedi had come up with extra funding if Birchwood wanted to go forward with putting a trail on the opposite side that is on Birchwood Rd and continue that to Jay intersection.

b. Council discussed options

- i. Mayor Wingfield will come back to the August meeting on how much it is and what they can do and not paint the center line.

c. Halls Marsh has been a big liability to get it rebuilt and restructured

- i. Meeting is Wednesday July 14 at 9:00am for the long term process.

I. Council Member Reports

a. Mayor Wingfield

i. Signage for City Entrances

- a. East County Line
- b. Wildwood
- c. Birchwood Rd
- d. Cost \$1000 and Andy Sorenson would help

- II. Legislative update for lift Station funding
 - a. Didn't get the money but no one else did either
 - b. To be considered on the next bonding bill?
 - c. Mayor Wingfield read an email from a staffer in the legislature
 - d. Mayor Wingfield questioned about a low interest loan
 - i. Attorney Kantrud explained as to how it works
 - e. Council discussed if lift station failed what would happen
 - f. Grant vs low interest loan/bond

- iii. STS Update
 - a. Any tree that was boxelder, silver maple, buckthorn was cut
 - b. resprouted trees were cut
 - c. within the right of way
 - e hired a chipper
 - f. Mayor Wingfield would like her loppers that are missing
 - g. Polly's park have trees that are marked by John Lund and will cut down as a gift to the city. Will get a chipper in same day

MOTION MADE BY MAYOR WINGFIELD TO HAVE JOHN LUND CUT THE 7-8 TREES THAT HAVE BEEN MARKED IN POLLY'S PARK. HE WILL DROP THEM AND THE STS CREW WILL CLEAN THEM UP. SECONDED BY COUNCILMEMBER FLECK. AYES: ALL MOTION PASSED

- iv. Comp Plan Update
 - a. Moving forward
 - b. Met Council looking to monitor the private lines from house to the street for infiltration
 - c. Looking for quote for Birch path overlay
 - d. Need to budget more for annual maintenance on roads. up to \$6,000-\$7,000

- v. Schifsky Work Update
 - a. 221 has been worked out

- vi. Velocity Sewer Cleaning Report
 - a. City clear, no issues
 - b. Do it more often. On schedule 2026
 - c. 3 manhole covers on Oakridge Dr that need to be replaced because they are cracked. John Manship is looking into this. Going to order an extra one. Have an unusual size manhole cover
 - d. Elm easement there is a pipe on the easement. Too much flow of water and need to keep water in place, suggested by Rice Creek Watershed to clean the canopy to let the grass grow.

- b. Councilmember McCarthy
 - i. Parking exceptions
 - a. questions were risen by overnight parking exceptions for residents on city streets
 - b. Make a policy/guideline
 - c. Bring it up next month and adopt as policy

- ii, Movie Night
 - a. Make it part of centennial celebration
 - b. free to residences
 - c. maybe different place for showing

Mayor Wingfield said it is something for the Community Club to do
Councilmember Fleck mentioned that the city is not in the entertainment industry

- iii. Wildwood and Iris Intersection
Council discussed concerns

MOTION MADE BY COUNCILMEMBER MCCARTHY TO APPROVE RESOLUTION 2021-20. SECONDED BY COUNCILMEMBER WOOLSTENCROFT. AYES: MCCARTHY, WINGFIELD NAYS: FOSTER, WOOLSTENCROFT (changed his vote) FLECK. MOTION DENIED

- iv. Rain Garden Update – Will present it next month

J. City Attorney Report

- a. Uniform Maintenance Code
 - i. City Attorney Kantrud discussed what he did to reduce this code
 - ii. Councilmember McCarthy to work with City Attorney Kantrud to go over it
- b. Fence Ordinance 302 .070
 - i. Mayor Wingfield and City Attorney Kantrud to get together for put together a fence ordinance
- c. Deer Management
 - i. need a plan so residents know what is going on for next meeting

K. Old Business

- a. City Hall Restoration
 - i. Mayor Wingfield discussed window repair, added additional costs

MOTION MADE TO DO THE SASH REPAIRS AND ADDITIONAL COST PER WINDOWS ADDING UP TO ABOUT \$8,000. COUNCILMEMBER FLECK SECONDED.

Mayor Wingfield discussed the storms and the doors

MOTION MADE TO APPROVE THE SUPPLEMENTAL REPORT FOR PAYMENT TO MARK JOHNSON TO CONTINUE ON WITH THE REHAB TO THE DOORS AND WINDOWS. COUNCILMEMBER FLECK SECONDED. AYES: ALL MOTION PASSED

ADDITIONAL INFORMATION ADDED FROM AGENDA ON FIRST PAGE

1. City Administrator Gonyou

- a. Evaluation on Administrator Gonyou
 - i. Councilmember McCarthy asked if Gonyou wanted it a closed meeting or not
 - ii. City Attorney said it was up to the person being reviewed if open or not
 - iii. Discussion was then made by the Mayor and Councilmember McCarthy on his work
 - iv. bring this up again in December 2021
- b. The first reading of the Amendment to City Code section 301.055
 - i. under cash escrow if the applicant is the “homeowner” to just saying applicant
 - ii. Second reading on August meeting

MOTION MADE BY MAYOR WINGFIELD TO ACCEPT THE FIRST READING OF CITY CODE SECTION 301.055 PARAGRAPH WITH THE CHANGE. COUNCILMEMBER FLECK SECONDED AYES: ALL MOTION PASSED

- c. Rice Creek Watershed meeting is tomorrow (Wednesday, July 14) at 9:00am in person
 - i. City Attorney Kantrud volunteered to make the meeting

d. Doug Danks fee schedule is \$100

MOTION MADE BY MAYOR WINGFIELD TO CHANGE PLANNER TO DOUG DANKS FEE TO \$100 PER HOUR THAT GETS BILLED OUT IN EXCESS OF THE AMOUNT WHEN HE IS USED IN EXCESS AMOUNT OF THE PERMIT AMOUNT. COUNCILMEMBER FLECK SECONDED. AYES: ALL MOTION PASSED

2. Mayor Wingfield brought up the Radio Tower

a. City Attorney Kantrud explained the contents of the contract and as to why there is a change order of additional monies.

b. Looking to split the costs between the city and company

MOTION MADE BY MAYOR WINGFIELD TO ACCEPT THEIR COMPROMISE, WHICH HAS BEEN NEGOTIATE THROUGH OUR ATTORNEY AND WANT IT DONE POST HASTE. COUNCILMEMBER WOOLSTENCROFT SECONDED. AYES: ALL MOTION PASSED.

MOTION MADE BY COUNCILMEMBER FLECK TO ADJOURN. SECONDED BY COUNCILMEMBER MCCARTHY.

ADJOURNED AT 9:57PM

ATTEST

MAYOR MARY WINGFIELD

CITY ADMINISTRATOR ANDY GONYOU

**SPECIAL MEETING OF THE
CITY COUNCIL
CITY OF BIRCHWOOD VILLAGE
JULY 26, 2021
6:00PM**

CALL TO ORDER

Mayor Wingfield called the meeting to order at 6:00pm

MEMBERS PRESENT: Mayor Wingfield, Councilmembers: Mark Foster, Justin McCarthy, John Fleck, Keven Woolstencroft

STAFF PRESENT: City Administrator Andy Gonyou, City Attorney, H. Alan Kantrud, City Engineer Steve Thatcher (by phone)

CITY BUSINESS – REGULAR AGENDA

A. City of White Bear Lake Contracts

- a. Introductions
 1. Ellen Highniker – Manager of White Bear Lake
 2. Chief of Fire - Greg Peters
 3. Finance Director - Kerri Kindsvater
- b. Birchwood Village Council & City of White Bear Lake Representatives discussion
 1. Power point presentation and discussion
 - i. Changes/Improvements since 2018
 - Staffing
 - Facilities
 - Apparatus/Equipment
 - ii. Call/run data
 - ii. Financial trends
 - iv. Discussion

B. 15 Birchwood Lake

- b. Review & Discuss Pending Permit Application
 - i. Steve Thatcher, City Engineer spoke by phone in regards to his findings on their garage
 - ii. Sherwood's explained their position on the grade issue getting their garage a couple feet above street level
- c. Discussion was made on the rip rap done without a permit
 - i. Sherwood's explained what was put down by shoreline
 - ii. A Zoning permit and plans need to be submitted for rip rap
 - iii. Survey required
- d. Discussed that they need a CUP permit for land disturbance activity
 - i. If they have a building permit no CUP is required
- e. Discussed a fence
 - i. no fence on property
 - ii. will get permit after garage permit
- f. Setbacks were discussed
- g. Discussed the flow of the water from garage

MOTION MADE BY MAYOR WINGFIELD TO AUTHORIZE CITY ATTORNEY KANTRUD AND THE STEVE THATCHER THE CITY ENGINEER TO PROCEED INTO A CONTRATUAL RELATIONSHIP TO RESOLVE THE STORM WATER DRAINAGE IN THE AREA THAT ENCOMPASES BOTH THE DRILINGS FORMER PROPERTY AND THE SHERWOODS NEW PROPERTY AND THE CITS BIRCHWOOD LANE. COUNCILMEMBER FLECK SECONDED. AYES: ALL MOTION PASSED.

C. First Reading of Ordinance 2021-07-01, Sec 308. Subdivision of Land

a. Council Deliberation & Approval

i. Councilmember McCarthy discussed some of the wording he thought should be changed

a. City Attorney Kantrud will review and make the necessary changes for Second Reading

II. Land Dedication For Public Site And Open Spaces Or Fee Lieu was discussed

b. Order Public Hearing & Second Reading

MOTION MADE BY MAYOR WINGFIELD TO ACCEPT THE FIRST READING OF THE CODE 308 OF THE SUBDIVISION TASK FORCE AS AMENDED AND ORDER THAT THE SECOND READING BE PUT ON FOR PUBLIC HEARING AT COUNCIL MEETING IN AUGUST. COUNCILMEMBER FLECK. AYES: ALL. MOTION PASSED

MOTION MADE BY MAYOR WINGFIELD TO HAVE A SPECIAL MEETING ON MONDAY, AUGUST 2, 2021 AT 6:00PM, REVIEWING REPLACEMENT LANGUAGE FOR 308 120 REGARDING PARK DEDICATION OR FEE IN LIEU OF. SECONDED BY COUNCILMEMBER FLECK. AYES: ALL. MOTION PASSED

D. Deputy Clerk Access to City Website (Mayor Wingfield)

MOTION MADE BY MAYOR WINGFIELD AUTHORIZING CITY DEPUTY CLERK SMITH TO HAVE ACCESS TO THE WEBSITE AND WORK WITH SCOTT FREEBERG. COUNCILMEMBER FLECK SECONDED. AYES: ALL. MOTION PASSED

MOTION MADE BY COUNCILMEMBER FLECK TO ADJOUN. SECONDED BY COUNCILMEMBER WOOLSTENCROFT. AYES: ALL MOTION PASSED

ADJOURNED AT 10:47PM

ATTEST:

MAYOR MARY WINGFIELD

CITY ADMINISTRATOR ANDY GONYOU

**MINUTES
SPECIAL COUNCIL MEETING
CITY OF BIRCHWOOD VILLAGE
AUGUST 2, 2021
6:00pm**

CALL TO ORDER:

Mayor Wingfield call the meeting to order at 6:01pm

MEMBERS PRESENT: Mayor Wingfield, Councilmembers: Foster, McCarthy, Fleck, Woolstencroft

STAFF PRESENT: City Administrator Gonyou, City Attorney Kantrud

1. Replacement Language for 308.120, Park Dedication or Fee in-Lieu

- a. Council discussed the changes needed
- b. Needs to be sent to the Subdivision Task Force with the 120 information along with the fee schedule to review. Can respond to City Administrator Gonyou or come to the public hearing

NEED A MOTION TO ADOPT THE PROPOSED 308.120 AS A FIRST READING AND TO PUT IT ON PUBLIC HEARING AT THE AUGUST COUNCIL MEETING. COUNCILMEMBER MCCARTHY MOVED. SECONDED BY COUNCILMEMBER FLECK. AYES: ALL. MOTION PASSED.

Mayor Wingfield wants a budget workshop and put both this item and the budget at the same time for later in August.

MOTION MADE COUNCILMEMBER FLECK AND SECONDED BY COUNCILMEMBER MCCARTHY TO ADJOURN. AYES: ALL. MOTION PASSED

ADJOURNED AT 6:23PM

ATTEST

MAYOR WINGFIELD

CITY ADMINISTRATOR GONYOU

MEMORANDUM



TO: Birchwood Village City Council
FROM: Andy Gonyou, City Administrator
SUBJECT: Variance Case No. 21-03-VB
DATE: August 5, 2021

Dear Mayor & Council Members,

The Planning Commission of Birchwood Village originally voted to recommend approval on three (3) of four (4) variances being requested, and originally voted to recommend DENIAL of one (1) variance (variance item #2) until information was provided to City Engineer Thatcher that he (Mr. Thatcher) found sufficient and put into writing that he (Mr. Thatcher) would approve of the plans. I have read through Mr. Thatcher's attached memo and on page 5 of his memo (page 35 of this agenda packet) he appears to have expressly written that the conditions of variance request #2 have been satisfied with new information provided by the applicant.

Upon receiving this memo I contacted the members of the Planning Commission and informed them of the update from City Engineer Thatcher. I then informed the Planning Commissioners that in light of their requirements for variance item #2 being satisfied, I would write a memo to the full City Council informing them that the Planning Commission ultimately voted to recommend APPROVAL of all four (4) variance items from Variance Case No. 21-03-VB and gave the Planning Commissioners one (1) week to contact me with any objections (07/28/2021 – 08/04/2021). As of writing this memo on 08/05/2021, I have received no objections from any member of the Planning Commission.

City Staff Request/Recommendation:

The City Administrator requests the Council consider all of the information provided in relation to Variance Case No. 21-03-VB and make a final determination of Approval or Denial, ensuring to take into special consideration the Planning Commission's recommendation of APPROVAL.

Thank you,
Andy Gonyou
City Administrator-Clerk

REGULAR MEETING MINUTES (Draft)

Birchwood Planning Commission Meeting

City Hall – 7:00 PM Meeting 7/22/2021

Submitted by Michael Kraemer – acting secretary

COMMISSIONERS PRESENT:– Ryan Hankins – acting Vice Chairman, NEW MEMBER – Joe Evans , Michael Kraemer.

COMMISSIONERS ABSENT: Andy Sorenson, Michelle Maiers-Atakpu

OTHERS PRESENT: Cameron Sigecan – property owner 143 Wildwood Ave

1. CALL TO ORDER Meeting called to order by acting Vice-Chairman Ryan Hankins at 7:02 pm.
2. APPROVE AGENDA
 - a. Motion by Mike Kraemer to approve the agenda, second by Joe Evans: Approved unanimously.
3. AGENDA ITEM A - Variance Case No 21-03-VB - 143 Wildwood Ave
 - a. Public Hearing
 - i. Property owner Cameron Sigecan was present to discuss the newly revised and submitted variance application 21-03-143, architectural renderings, supporting information
 - ii. During Mr. Sigecan’s presentation and in concert with a review memo from Steve Thatcher – Thatcher Engineering (City Engineer) dated July 7, 2021 it was identified that although the revised application was submitted as one variance request, there were actually four (4) variance issues being submitted in the document for review. Variance issues #1 and #2 were related to the proposed garage relocation addition on the house and variance issues #3 and #4 were related to slope and shoreline stabilization issues.
 - iii. It was determined the four Variance request issues would be discussed and approved individually.
 - iv. The four variance request issues identified in the Thatcher Engineering review memo and discussed by the Planning Commission were as follows.
 1. Variance Request #1
 - a. The Applicant is requesting a variance from City Code 301.050.B.5.a and b (NON-CONFORMING USES)
 2. Variance Request #2
 - a. The Applicant is requesting a variance from City Code 302.050 (IMPERVIOUS SURFACES)

3. Variance Request #3
 - a. The Applicant is requesting a variance from City Code 302.020.4.b (A variance from the setback requirement for a retaining wall within 50 feet of the Ordinary High Water Level (OHWL) of White Bear Lake.)
4. Variance Request #4
 - a. The Applicant is requesting a variance from City Code 302.055.2.a.4 (A variance from the no grading requirement for grading within 20 feet of the OHWL.
- v. Since no one else was present to speak Michael Kraemer moved to close the public hearing, 2nd by Ryan Hankins. Approve unanimously.

VARIANCE DISCUSSIONS

- b. Variance Request #1 – NON-CONFORMING USE
 - i. The Applicant is requesting a variance from City Code 301.050.B.5a (NON-CONFORMING USE)
 1. The property at 143 Wildwood Ave was determined to be a non-conforming pre-existing parcel with five non-conforming issues.
 - a. ISSUE #1 – UNDER SIZED LOT, Code: 302.005 The lot is undersized at 8250 sf versus the Village Code requirement of 9000 sf for a pre-existing riparian lot.
 - i. FINDING: The parcel should be considered eligible for grandfathering in as compliant with the minimal lot size and recognized as a pre-existing single-family lot as there is no practical way to add to the property.
 - ii. RECOMMEND: Variance to continue use as a non-conforming single-family home lot be granted.
Advisory Vote: 3-Yes, 0-No
 - b. ISSUE #2 – SIDE YARD SETBACK, Code: 302.020.2 The existing house yard setbacks do not meet current City Code. The non-conforming house side yard setbacks are (west side) 8.1' and 9.6' respectively. No work is being proposed on west side of house. The existing garage side yard setbacks (2.2' north, 3.3' south) do not comply with City Code side yard setbacks. The plans of the proposed new garage center the new garage in the lot and all side yard setbacks on the garage comply with City Code. (The proposed resultant garage side yard setbacks are WEST

are 10' on the north and 11.1' on the south. The resultant EAST side yard setbacks all exceed the 10' in the code.

- i. **FINDING:** The proposed garage addition, MEETS City code side yard setback requirements.
- ii. **RECOMMENDATION:** Garage addition meets City Code and variance should be allowed as complying with practical limitations for bringing the resultant structure more in compliance with code. Advisory Vote: 3-Yes, 0-No

2. **ISSUE #3 – STREET SET BACK** Code 302.020.2 The current Village Code for municipal street setback is 40'. The relocation of a new garage up tight against the existing house and shrinking the depth of the garage dimensions to the practical minimum of 20' (from obstructions), will put the garage street setback from the right of way at 22.6' and approximately 26'+ from the edge of the street bituminous.

- a. **FINDING:** Since it is not practical to ask that the house be moved farther from the street, the 22.6' setback achieved by the relocation of the garage will afford the property 20' for off ROW parking and achieves the practical limitations of the site.
- b. **RECOMMENDATION:** Practical compliance with the **STREET SET BACK** appears to be achieved and approval of variance should be considered. Advisory Vote: 3-Yes, 0-No.

3. **ISSUE #4 – IMPAIRED SITE LINES**. At the February meeting neighbor Doug Danks identified that if the location of the addition of a bonus room above the walkout garage was allowed to be built against the property line (as originally proposed and without achieving proper side yard setbacks) it would impair their view of the lake from across Wildwood Ave.

- a. **FINDING:** The relocation of the new garage to the center of the lot and up against the house will place the bonus room above the garage in line with the current house roof line and minimize any additional site line impediments. This issue has been addressed with the new plans. Advisory Vote: 3-Yes, 0-no

c. **Variance Request #2 – IMPERVIOUS SURFACE**. Code 302.050

- i. The Applicant is requesting a variance from City Code 302.050 (IMPERVIOUS SURFACES)

1. The relocation of the garage against the house will eliminate the underground tunnel, create a similar replacement garage impervious footprint, and add 12' additional impervious length to the driveway.

The total impervious footprint including the house, garage, entry, driveway, stairway and sidewalk are estimated to create an impervious footprint of approximately 3209 sf on the 8250-sf lot. This calculates to an impervious percentage on the parcel of 37% versus Village Code guideline of 25%.

2. The Applicant is seeking relief of the variation with the 25% code guideline via Code 302.050.1.a-k which allows the Applicant to retain and treat on site, post-construction stormwater runoff volumes of 1.1 inches of runoff from the sites impervious surfaces.
3. FINDINGS: The Applicant has been in contact with Thatcher Engineering in the design of this system and provided detailed plans and calculations addressing storage and treatment of the post-construction runoff using a collection and infiltration system constructed onsite.

However, the 7/7/2021 plan review memo from City Engineer - Thatcher Engineering, Inc. highlights that although the proposed infiltration cell system as designed provides is a good start ..."it still does not provide the information needed to show the proposed work will meet the conditions for Variance Request #2." Thatcher Engineering goes on to specifically detail what is still needed. In particular: 1.) details on pre-treatment to avoid system clogging, 2.) design details to allow active inspection, 3.) design details to by-pass large storm flows, and 4.) a detailed narrative on the stormwater management plan as it relates to testing techniques, timing and reporting.

4. RECOMMENDATIONS: Variance #2 be DENIED until the items 1 – 4 above identified by City Engineer are successfully submitted to his satisfaction and he signs off to Council in writing. Advisory Vote: 3-Yes, 0-No

d. Variance Request #3 – RETAINING WALL WITHIN 50' OF OHW

- i. The Applicant is requesting a variance from City Code 302.020.4.b (A variance from the setback requirement for a retaining wall within 50' of the Ordinary High Water Level (OHWL) of White Bear Lake.)

- ii. FINDINGS: There are terraced slopes and retaining walls constructed on the adjacent lots and several lots in each direction. The adjacent retaining walls vary in materials from timber (City Ash Beach) to aging cast-in-place concrete.

The wall as proposed is a replacement for a deteriorated pre-existing poured concrete wall. The proposed replacement wall would incorporate natural boulder configuration and is configured to protect existing older trees on the slope and incorporate landscape plantings and plantings to further stabilize the slope. The proposed wall is proposed to match the elevations and alignments of adjacent lot terracing and walls.

This wall coupled with shoreline rip rap project (currently under DNR and RCWD permit) is proposed for re-stabilization of the existing slope following the unpermitted removal of the existing wall.

In recent years similar boulder walls have subtly been installed along shoreline slopes as part of new home construction, landscaping and slope stabilization.

The current City Code does allow DNR approved rip rap but does not allow the construction of retaining walls within 50' of OHW.

- iii. RECOMMENDATION: After considerable discussion, the Planning Commission's opinion is that property owners (public and private) need permitted ability to repair and/or replace exiting slope terracing and erosion control elements. The PC would support the variance be considered in this case as a replacement of an existing structure since no better alternatives appeared to be available. The Planning Commission would recommend natural materials (boulders, rocks, plantings) be used in the construction of the replacement wall. Advisory Vote: 3-Yes, 0-No.

e. Variance Request #4 – GRADING WITHIN 20' OF OHW.

- i. The Applicant has requested a variance from City Code 302.055.2.a.4 which state: "No grading or filling shall be permitted within twenty (20) feet (measured horizontally) of the ordinary high-water level of any lake, pond, or wetland."
- ii. FINDINGS: The water front rip rap and retaining wall are related in effort and are subject to and must also comply with applicable Rice Creek Watershed District and DNR permitting requirements. The estimated amount of excavation (0.72 cy) and filling (0.27cy) within the Shoreland Zone (I.e. 25' of OHW) appears to be primarily connected with the DNR

required 3 to 1 sloping of the rip rap installation's connection to the base of the proposed retaining wall and not a distinct effort of terracing which already exists.

- iii. RECOMMENDATION: A one-time, project specific variance to the City Code 302.055.2.a.4 -GRADING WITHIN 20' OF OHW should be allowed provided the projects are constructed simultaneously. Advisory Vote: 3-Yes, 0-No.

f. ADDITIONAL CONDITIONS:

- i. At the request of the Planning Commission (Advisory Vote: 3-Yes, 0-No) the following element must be incorporated to any approval of variances related to this application.
 - 1. The Applicant must submit a letter to the City Administrator indicating that the property owner Cameron Sigecan is the Permit Applicant. There was confusion on the Variance application on who was the permittee. Is it the contractor or the property owner?
 - 2. ADJACENT GARAGE SLOPE STABILIZATION – (Details of adjacent garage and yard stabilization were requested by PC at 3/25/2021 meeting)
 - a. FINDING: The relocation of the proposed garage 12' closer to the existing house and 8' away from the existing adjacent garage will expose the adjacent garage wall and yard. Information was now provided in the most recent application that defines the method for slope stabilization during construction. The plan also included a preliminary terraced wall restoration pattern.
 - b. RECOMMENDATIONS: As condition of the Non-Conforming Lot Variance the Applicant must stabilize and landscape the slope between their driveway/garage and the adjacent yard and garage to the satisfaction of the neighbor to the west.
 - 3. By reference the Planning Commission requests that the list of CONDITIONS, Items 1 – 5 in the Thatcher Engineering Review Memo dated 7/7/2021 be included and made mandatory of any and all variance approvals from this Applicant.

4. AGENDA ITEM B - Review/Approval June 24, 2021 Meeting Minutes

- a. Motion by Ryan Hankins, 2nd by Michael Kraemer to approve minutes. Yes – 3, No – 0, Abstain - 0

5. Adjournment

- a. At 9:35 PM motion was made by Ryan Hankins and 2nd by Joe Evans to adjourn the meeting. Vote: Yes – 3, No – 0.

**CITY OF BIRCHWOOD VILLAGE
MEMORANDUM
Updated July 28, 2021**

TO: Birchwood City Council
FROM: Thatcher Engineering, Inc.
DATE: July 28, 2021

APPLICANT:

Thatcher Engineering, Inc. (TEI) understands that Cameron Sigecan, 143 Wildwood Avenue, Birchwood Village, MN 55110 is the Applicant because (1) he signed the application on June 18, 2021 and (2) verbally confirmed to TEI that he is the Applicant and not the company shown on Item #1 on page 1, of the application which shows A Step Beyond Building and Remodeling, 2111 Longhorn Lane, Buffalo, MN 55313.

PROPERTY OWNER(S): Cameron and Jessica Sigecan

LOCATION: 143 Wildwood Avenue, Birchwood Village, MN 55110

REQUEST

Variance Request #1:

The Applicant is requesting a variance from City Code 301.050.B.5.a. and b (NON-CONFORMING USES).

Variance Request #2:

The Applicant is requesting a variance from City Code 302.050 (IMPERVIOUS SURFACES).

Variance Request #3:

The Applicant is requesting a variance from City Code 302.020.4.b (A variance from the setback requirement for a retaining wall within 50 feet of the Ordinary High Water Level (OHWL) of White Bear Lake).

Variance Request #4:

The Applicant is requesting a variance from City Code 302.055.2.a.4 (A variance from the no grading requirement for grading within 20 feet of the OHWL).

The Applicant is making the requests because of the following:

1. The current garage is attached to the existing house by a tunnel that has caused serious water issues.
2. The current garage is run down and shows signs of deterioration.

The property owners intend to do the following:

1. Remove the current garage and tunnel.
2. Install a new garage with general purpose room above it.
3. Attach the new garage with general purpose room to the existing house.

BACKGROUND

Variance Request #1:

1. City Code 301.050 states:

"301.050 NON-CONFORMING USES.

A. Definition: Non-Conforming Use. See definition in Section 300.020.34

B. Pre-Existing Structures or Uses: A non-conforming use may be continued so long as it remains otherwise lawful, subject to the provisions of paragraphs (1) through (7) below, in order to ensure that the non-conforming use will not be intensified and that, over time, the non-conforming use will, where possible, be brought into conformity with the Zoning Code.

1. A Non-Conforming Pre-Existing Structure shall not be enlarged, modified, changed, extended (either horizontally or vertically) or structurally altered, unless such changes bring the Non-Conforming Pre-Existing Structure into conformity with the Zoning Code. (Exception: A non-conforming use, lawfully located within 60% of all required setbacks, may be structurally altered if the alterations do not change the horizontal or vertical dimensions of the structure and otherwise conform to the Zoning Code.)

2. A non-conforming use shall not be moved to any other part of the parcel of land upon which the same was constructed unless the move would bring the structure and its use into conformity with the Zoning Code.

3. If any Non-Conforming Pre-Existing Structure or Use is destroyed by fire or other peril to the extent of greater than 50 percent of its estimated market value, as indicated in the records of the county assessor at the time of damage, and no building permit has been applied for within 180 days of when the property is damaged, any replacement or reconstruction must conform to the provisions of the Zoning Code. Exception: If the non-conforming use that is to be reconstructed came

into being as the result of a previously granted variance, the Council, after review, may continue the variance if the owner demonstrates that the conditions under which that variance was granted continue to exist.

4. Normal maintenance of a Non-Conforming Pre-Existing Structure is permitted, including necessary non structural repairs and incidental alterations which do not physically extend or intensify the non-conforming use.

5. Notwithstanding paragraph (1) above, a Non-Conforming Pre-Existing Structure may be expanded, provided:

a. That such expansion does not increase the non-conformity in any dimension (vertical or horizontal), does not create a new non-conforming use, and in itself conforms with the Zoning Code; and

b. The sum of the setbacks on either side of the structure is not LESS than 20 feet.

6. When any Non-Conforming Pre-Existing use of land or of a building or structure is discontinued for a period in excess of one year, such land, building, or structure shall thereafter be used only as allowed by this Code.

7. No provision of this section shall be interpreted as negating the provisions of 302.015 (Undersized Lots).

C. Illegal Structures, Uses, or Lots: Any replacement or reconstruction of any kind of a Non-Conforming Illegal Structure, Use, or Lot must conform to the provisions of the Zoning Code.” [Bold and underlines are in the Code]

City Code Section 300.020.34 states: “Non-Conforming Use. **Non-Conforming Pre-Existing Structure or Use:** Any building or structure which was legally existing on January 1, 1975, or authorized by variance thereafter, which would not conform to the applicable conditions if the building or structure were to be erected under this Code. **Non-Conforming Illegal Structure, Use, or Lot:** A lot, building, structure, premises, or use illegally established when it was initiated, created, or constructed, which did not conform with the applicable conditions or provisions of the City Code for the area in which the structure or use is located.” [Bold and underlines are in the Code]

Variance Request #2:

City Code 302.050 IMPERVIOUS SURFACES states: “1. Limitation. Impervious surface coverage of lots shall not exceed twenty-five (25) percent of the lot area unless the applicant satisfies the following conditions to obtain a variance:

- a. The applicant shall submit a stormwater management plan for the site that analyzes the proposed development including the area(s) of impervious surfaces, direction of runoff, proposed best management practices to manage runoff, and stormwater retention that the best management practices will achieve.
- b. The stormwater management plan shall include structures and/or best management practices for the mitigation of stormwater impacts on receiving waters in compliance with the City’s Surface Water Management Plan, or as approved by the City Engineer, so that the site design includes stormwater management practices that control the stormwater runoff volumes, and the post-construction runoff volume shall be retained on site for 1.1 inches of runoff from impervious surfaces.
- c. The applicant shall utilize the most recent version of the Minnesota MIDS (Minimum Impact Design Standards) Calculator (available on the Minnesota Pollution Control Agency’s website), the U.S. Environmental Protection Agency’s National Stormwater Calculator, or another similar stormwater design calculator approved by the city to complete the plan and show that the proposed stormwater management practices meet the required infiltration standard. The applicant shall submit the calculator results to the City with the stormwater management plan.
- d. The applicant shall provide documentation that the proposed stormwater management methods meet the required standard, will be designed and installed consistent with the City’s Surface Water Management Plan, NPDES stormwater standards, and the Minnesota Pollution Control Agency’s Minnesota Stormwater Manual.
- e. No pervious pavement system is permitted in the Shore Impact Zone. (The Shore Impact Zone is the land located between the ordinary high water level of a public water and a line parallel to it at a setback of 50 percent of the required structure setback. The required structure setback from the OHWL in the City of Birchwood Village is 50 feet, and the Shore Impact Zone is 25 feet.)
- f. Site design shall comply with the City’s zoning code 302.055, and shall minimize changes in ground cover, loss of natural vegetation, and grade change as much as possible.

- g. The base of installed infiltration structures or practices must be a minimum of three (3) feet above the established ground water table or the Ordinary High Water Level of White Bear Lake, whichever is higher.
- h. The stormwater management practices shall be designed in accord with the Minnesota Stormwater Manual, American Concrete Pavement Association design criteria, Center for Watershed Protection, Stormwater BMP Design Supplement for Cold Climates, or other design guidance provided by the City.
- i. The stormwater management plan shall include the applicant's description of how the practices shall be maintained to function as designed for the long-term. The City may inspect the installation of the stormwater management system at the site.
- j. The applicant shall include the maintenance plan and a maintenance schedule for the approved stormwater management practices with the required permit application.
- k. The variance shall not be valid unless the applicant properly records the variance at the property records at Washington County and a copy of the recording is properly returned to the City for verification."

Currently, this property does not conform to City Code 302.050 IMPERVIOUS SURFACES because the application shows that the existing impervious surface coverage 31%. The proposed impervious surface coverage is 37%.

On July 27, 2021, the application provided information (attached) which shows that the proposed work will meet the conditions for Variance Request #2. The conditions that are satisfied are the following:

- Item a.
- Item b.
- Item c.
- Item d.
- Item e.
- Item f.
- Item g.
- Item h.
- Item i.
- Item j.
- Item k. The applicant will record the variance at Washington County, if approved.

Variance Request #3:

City Code 302.020.2 requires the setback of all other structures to be 50 feet from the OHWL of White Bear Lake.

City Code 302.020.4.b states: “Retaining Wall Setbacks: Front, back, side street and other lot line setback requirements shall not apply to retaining walls except that the ordinary high water level setback requirements shall apply to retaining walls.”

The Site Plan prepared by Lake and Land Surveying, Inc. dated June 16, 2021 shows a boulder retaining wall within 50 feet of the OHWL of White Bear Lake. Thus, a variance from the setback requirement is needed if a boulder retaining wall is proposed within 50 feet of the OHWL.

Variance Request #4:

City Code 302.055.2.a.4 states: “No grading or filling shall be permitted within twenty (20) feet (measured horizontally) of the ordinary high water level of any lake, pond, or wetland.”

The Site Plan prepared by Lake and Land Surveying, Inc. dated June 16, 2021 shows grading within 20 feet of the OHWL of White Bear Lake. Thus, a variance from the no grading requirement is needed if grading is proposed within 20 feet of the OHWL.

SITE CHARACTERISTICS

The lot area is 8,726 square feet according to the Certificate of Survey (COS) prepared by Lake and Land Surveying, Inc. dated June 16, 2021. The lot is narrow (about 50.0 feet wide) and contains a single-family residence.

PRACTICAL DIFFICULTY

- 1) The lot is an undersized lot based on City Code because the width is about 50.0 feet.
- 2) The lot has steep slopes and topography challenges.
- 3) The lot is extremely narrow and long.

STATUTORY REQUIREMENTS FOR PERMITTING VARIANCES

Minnesota State Statute 462.357 allows for a variance to be permitted only when:

- (1) The proposed use is in harmony with the general purposes and intent of the City’s zoning ordinance;
- (2) The variance is consistent with the City’s comprehensive plan; and,
- (3) The applicant establishes that there are practical difficulties in complying with the zoning ordinance.

Statutory criteria used to establish a practical difficulty include:

- (1) The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance;
- (2) The plight of the landowner is due to circumstances unique to the property not created by the landowner; and
- (3) The variance, if granted, will not alter the essential character of the locality.

CITY CODE REQUIREMENTS FOR PERMITTING VARIANCES

Sec 304.040 of the City Code states:

Variations to the strict application of the provisions of the Code may be granted, however, no variance may be granted that would allow any use that is prohibited within the City. Conditions and safeguards may be imposed on the variances so granted. A variance shall not be granted unless the following criteria are met:

SUBD. 1.

- A. Variations shall only be permitted
 - i. when they are in harmony with the general purposes and intent of the ordinance and
 - ii. when the variances are consistent with the comprehensive plan.
- B. Variations may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance.

SUBD. 2. "Practical difficulties," as used in connection with the granting of a variance, means that

- i.** Special conditions or circumstances exist which are peculiar to the land, structure, or building involved.
- ii.** The condition which result in the need for the variance were not created by the applicant's action or design solution. The applicant shall have the burden of proof for showing that no other reasonable design solution exists.
- iii.** The granting of a variance will result in no increase in the amount of water draining from the property.
- iv.** Granting the variance will not impair an adequate supply of light and air to adjacent property, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, or welfare of the residents of the City.
- v.** No variance shall be granted simply because there are no objections or because those who do not object outnumber those who do.
- vi.** Financial gain or loss by the applicant shall not be considered if reasonable use for the property exists under terms of the Zoning Code.

ANALYSIS

The lot is an undersized lot with steep slopes and topography challenges. City Code 302.015 allows undersized lots to be utilized for single-family detached dwelling purposes provided the measurements of such area, width, or open space are at least 60% of that required.

REASONS FOR RECOMMENDING VARIANCE APPROVAL

Variance Requests:

1. The plan meets City Code requirements.
2. The lot is an undersized lot.
3. This project would preserve the essential character of the locality.

REASONS FOR RECOMMENDING VARIANCE DENIAL

Variance Requests:

1. A primary goal of the City of Birchwood Village's Zoning Ordinance is "to ensure that a non-conforming use is not intensified and that, over time, the non-conforming use will, where possible, be brought into conformity with the Zoning Code." The following could be argued:
 - a. That they are not in harmony with the general purposes and intent of the ordinance.
 - b. That the variance is not consistent with the comprehensive plan.
 - c. That the Applicant for the variance has not established that there are practical difficulties in complying with the zoning ordinance.
 - d. The lot does not meet the requirements of City Code 302.015.

CONDITIONS

If approved, a requested variance may be approved subject to the following conditions:

1. All application materials, maps, drawings and descriptive information submitted with this application shall become part of the building permit.
2. Per City Code 304.090, the variance shall become null and void if the project has not been completed or utilized within one year after the date it was granted, subject to petition for extension by the City Council.
3. Land alteration may not cause adverse impact upon abutting property.
4. Applicant shall meet the requirements of City Code 301.055 which states: "For a building permit, the applicant must submit stormwater and erosion control plans prepared and signed by a licensed professional engineer. The plans must be approved by the city

engineer and the permit holder must adhere to the approved plans. The stormwater management plan must detail how stormwater will be controlled to prevent damage to adjacent property and adverse impacts to the public stormwater drainage system.”

5. The variance shall not be valid unless the applicant properly records the variance at the property records at Washington County and a copy of the recording is properly returned to the City for verification.”

GRADING PLAN

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

Phone: 651-776-6211

Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

LAKEWOOD PARK

INSTALL RETAINING WALLS, TYPICAL

MATCH EXISTING GRADES ON DOWNHILL
SIDE OF PROPOSED RETAINING WALLS

MATCH PROPOSED GRADES ON UPHILL
SIDE OF PROPOSED RETAINING WALLS
AS SHOW, TOP OF WALL (TOW)

8'-6" DIAMETER PIPE @
2% MINIMUM.

CATCH BASIN 2
RIM=945.50
INV=941.50

GRASS SWALE
PRETREATMENT
BLOCK 3

EXISTING HOUSE
ADDRESS: 139

WOOD
DECK

INFILTRATION
BASIN NO. 1
WELL
19.0

EXISTING
HOUSE

DOWNSPOUT
TYPICAL

EXISTING
GARAGE

GARAGE
PROPOSED

SLAB=947.16

SLAB=947.16

SLAB=947.16

SLAB=947.16

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HIGHEST KNOWN WATER LEVELS DNR ID #82-167
ELEVATION=926.7 MSL, 1912
ELEVATION=926.51 NGVD, 1929
RICE CREEK WATERSHED DISTRICT
100-YEAR HIGH WATER ELEVATION=927.30, NAVD 1988
100-YEAR HIGH WATER ELEVATION=926.84, MSL 1912
100-YEAR HIGH WATER ELEVATION=926.65, NGVD, 1929
WHITE BEAR LAKE

EDGE OF ICE AS OF
3-16-2021 (SOLID LINE)

6" DIAMETER
PERFORATED
PIPE IN
TRENCH DRAIN
WITH
CLEANOUTS,
SEE DETAIL,
TYPICAL.

9'-6" DIAMETER
PIPE @ 2%
MINIMUM.

CATCH BASIN 1
RIM=945.00
INV=941.00

GRASS SWALE
PRETREATMENT

SCALE
1 inch = 20 ft.

WILDWOOD AVENUE
(50 FT WIDE RIGHT-OF-WAY)

Legal Description: (Warranty Deed)

Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.

SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

BENCHMARK MANHOLE COVER
ELEVATION=945.34 NGVD, 1929

LEGEND

- x xxx.xx Denotes Existing Spot Elevation
- xxx-- Denotes Existing Contour
- +xxx.xx Denotes Proposed Spot Elevation
- xxx--- Denotes Proposed Contours
- ← Denotes Proposed Drainage Direction
- ss— Denotes Underground Sanitary Sewer
- w— Denotes Underground Water Service
- g— Denotes Underground Gas Line
- OHW— Denotes Overhead Utility wires
- o - Denotes Chain-link Fence
- ⊕ Denotes Gas Meter
- ⊖ Denotes Electric Meter
- ⊙ Denotes Utility Pole
- ⊗ Denotes Water Valve
- ▬ Denotes Proposed Silt Fence or Bio Rolls
- ▭ Denotes Concrete Surface

AREAS

HOUSE: 1734 SQ. FT.
FRONT SIDEWALK & STOOP: 147 SQ. FT.
REAR SIDEWALK AND PATIO: 601 SQ. FT.
DRIVEWAY: 554 SQ. FT.
RETAINING WALLS: 173 SQ. FT.
TOTAL IMPERVIOUS SURFACE: 1734+147+601+554+173 = 3209 SQ. FT.
TOTAL LOT AREA TO ORDINARY HIGH WATER ELEVATION: 8726 SQ. FT. OR 0.20 ACRES
TOTAL PERCENTAGE IMPERVIOUS SURFACE: 3209/8726 = 0.37 x 100 = 37%

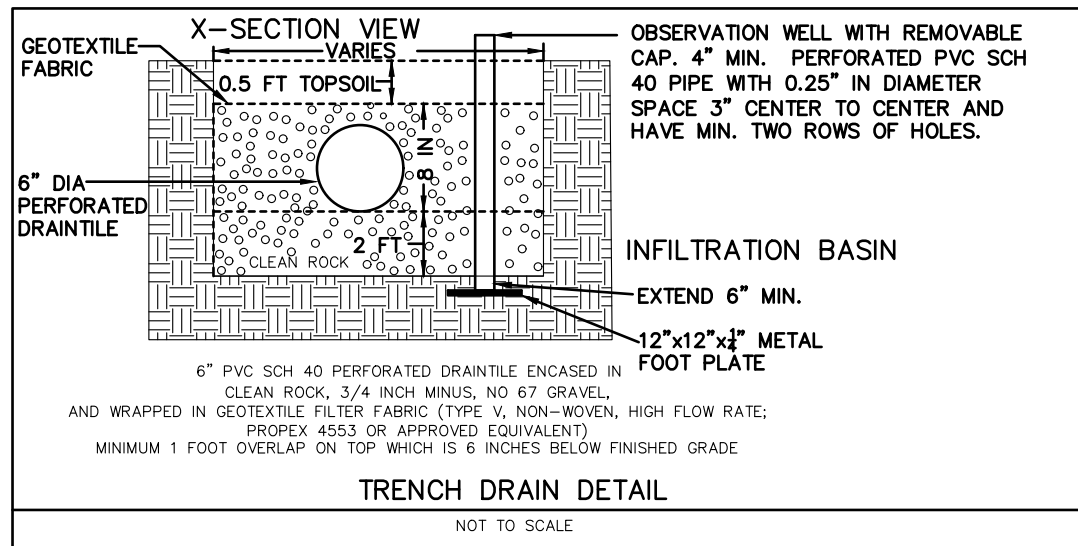
I certify that this survey, plan or report was prepared by me
or under my direct supervision, and that I am a duly Registered
Land Surveyor under the laws of the State of Minnesota.

Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464

DETAILS

MANAGEMENT AND MAINTENANCE PLAN

1. OWNER WILL INSPECT THE GRASS SWALE CONVEYANCE AND TRENCH DRAIN FACILITIES AT LEAST ANNUALLY.
2. OBSERVATION WELL SHALL BE MONITORED WITHIN 48 HOURS AFTER A RAINFALL TO DETERMINE THAT INFILTRATION HAS OCCURRED.
3. OWNER WILL MAINTAIN AND REPAIR THE FACILITIES:
 - a. IN THE CASE OF THE COLLECTION OF SEDIMENTS, THE OWNER SHALL REMOVE THE SEDIMENT, TO PRESERVE STORAGE OR CAPACITY AT THE DESIGN VOLUME.
 - b. IN THE CASE OF CONVEYANCE PRESERVE DESIGN HYDRAULIC CAPACITY.
 - c. IN THE CASE OF FACILITIES RELYING ON SOILS AND VEGETATION FOR STORMWATER MANAGEMENT OR TREATMENT, TO PRESERVE HEALTHY VEGETATION AND DESIGN SOIL PERMEABILITY.
 - d. IN THE CASE OF ALL FACILITIES, AS NECESSARY TO PRESERVE THE INTEGRITY AND INTENDED FUNCTION OF THE FACILITY.



PROPOSED IMPERVIOUS AREA = 3209 SQ. FT.
 INFILTRATE 1.1 INCH OF STORM WATER IN 48 HOURS
 TOTAL INFILTRATION REQUIRED = 1.1 IN X 3209 SQ. FT. X (1FT/12IN) = 294 CU. FT.
 NO 67 GRAVEL HAS 40% VOIDS

INFILTRATE 0.2 IN/HR X 48 HRS X (1FT/12IN) = 0.8 FT.
 294 CU. FT./0.8 FT. = 368 SQ. FT. OF SURFACE AREA

2 FEET DEEP OF ROCK X 40% = 0.8 FT

AREA PER INFILTRATION BASIN NO. 1 = 13 FT WIDE X 19 FT LONG = 247 SQ. FT.

AREA PER INFILTRATION BASIN NO. 2 = 10 FT WIDE X 12.5 FT LONG = 125 SQ. FT.

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July 27, 2021
 June 16, 2021
 May 12, 2021

Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

EROSION CONTROL PLAN

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

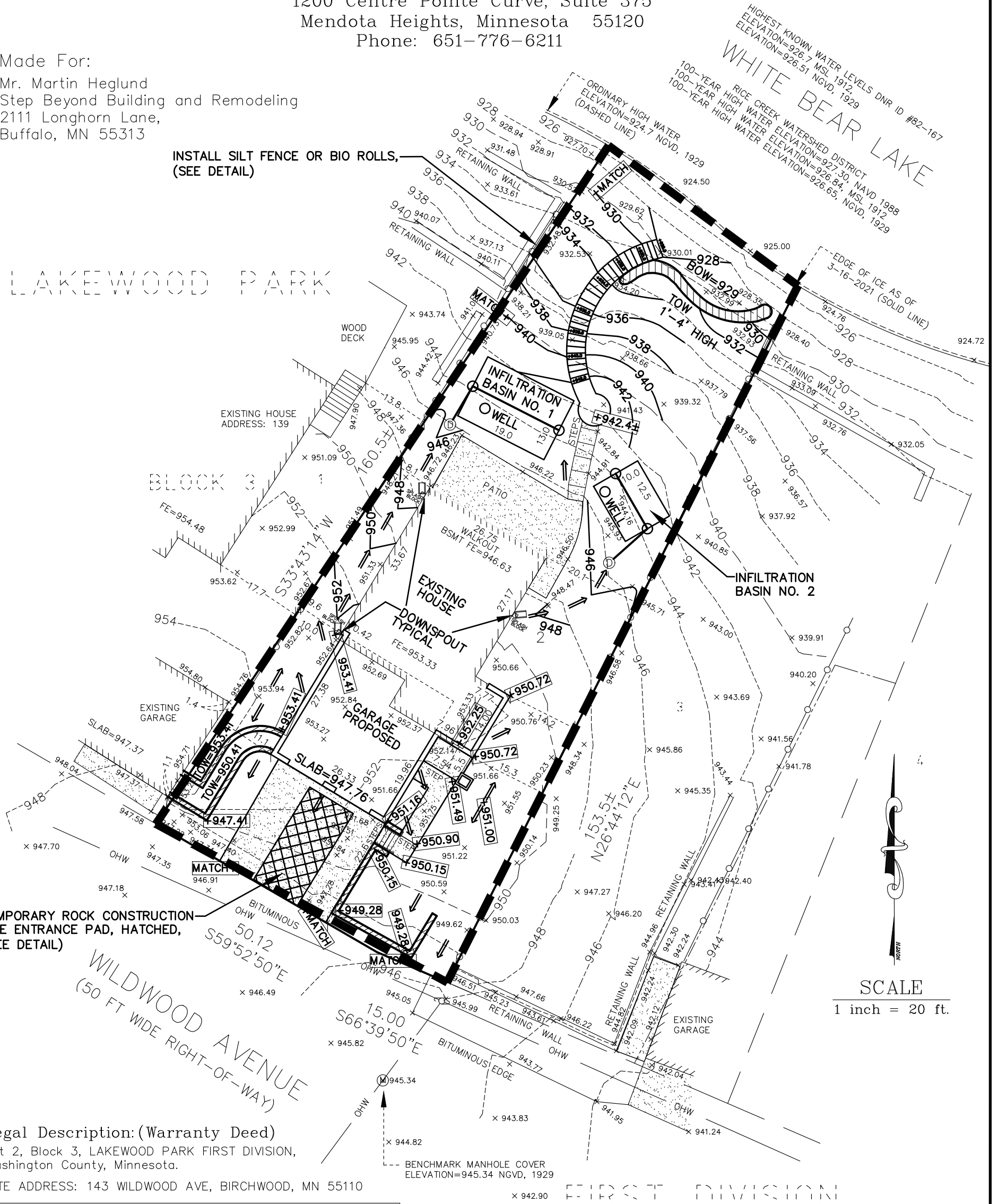
Phone: 651-776-6211

Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

INSTALL SILT FENCE OR BIO ROLLS,
(SEE DETAIL)

LAKEWOOD PARK



SCALE
1 inch = 20 ft.

Legal Description: (Warranty Deed)
Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.
SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

LEGEND

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- xxx-- Denotes Existing Contour
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- o - Denotes Chain-link Fence
- ⊠ Denotes Gas Meter
- ⊞ Denotes Electric Meter
- ⊕ Denotes Utility Pole
- ⊗ Denotes Water Valve
- ▬ Denotes Proposed Silt Fence or Bio Rolls
- ▨ Denotes Concrete Surface

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Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464

July 27, 2021
June 16, 2021
May 12, 2021

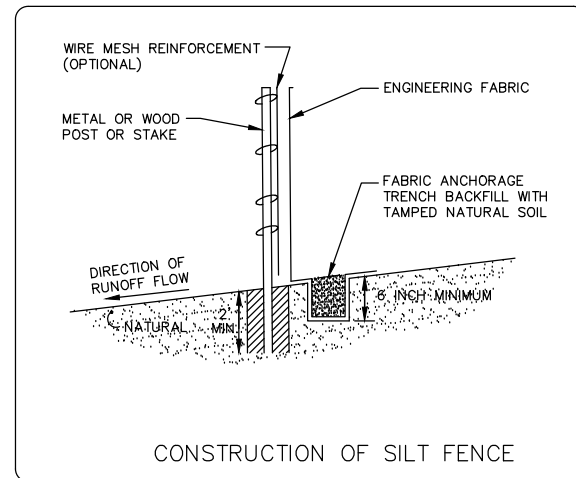
EROSION CONTROL PLAN

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

Phone: 651-776-6211



1. Sequence of Erosion Control Construction Activities

- a) Installation of silt fence or Bio Rolls prior to any construction activity.
- b) Installation of rock construction entrance prior to any construction activity.
- c) The site shall be re-vegetated within 48 hours of final grading.
- d) Install landscaping as per landscape plan.

2. Erosion and Sediment Control Measures

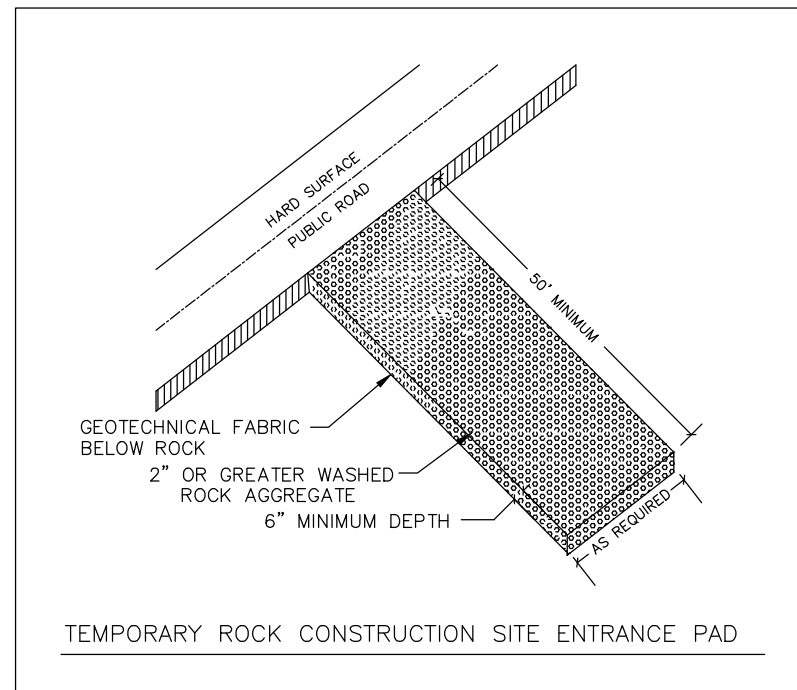
All best management practices (BMPS) determined by the Engineer to be effective are available for use on the site. BMPs anticipated to be used on the Project include the following:

- * Silt Fence
- * Concrete Mixing/Washout Basins shall be taken offsite
- * Final Landscaping with Seed, Fertilizer, Topsoil or Sod
- * Street Sweeping

3. Inspection and Maintenance

The Contractor is responsible for providing, maintaining and removing all Erosion Control BMPs, as set forth above, which includes all materials, equipment and labor.

Owner is responsible for having the Contractor install, maintain and remove the BMPs as set forth above.



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June 16, 2021
May 12, 2021

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OVERLAY EXHIBIT

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375
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Phone: 651-776-6211

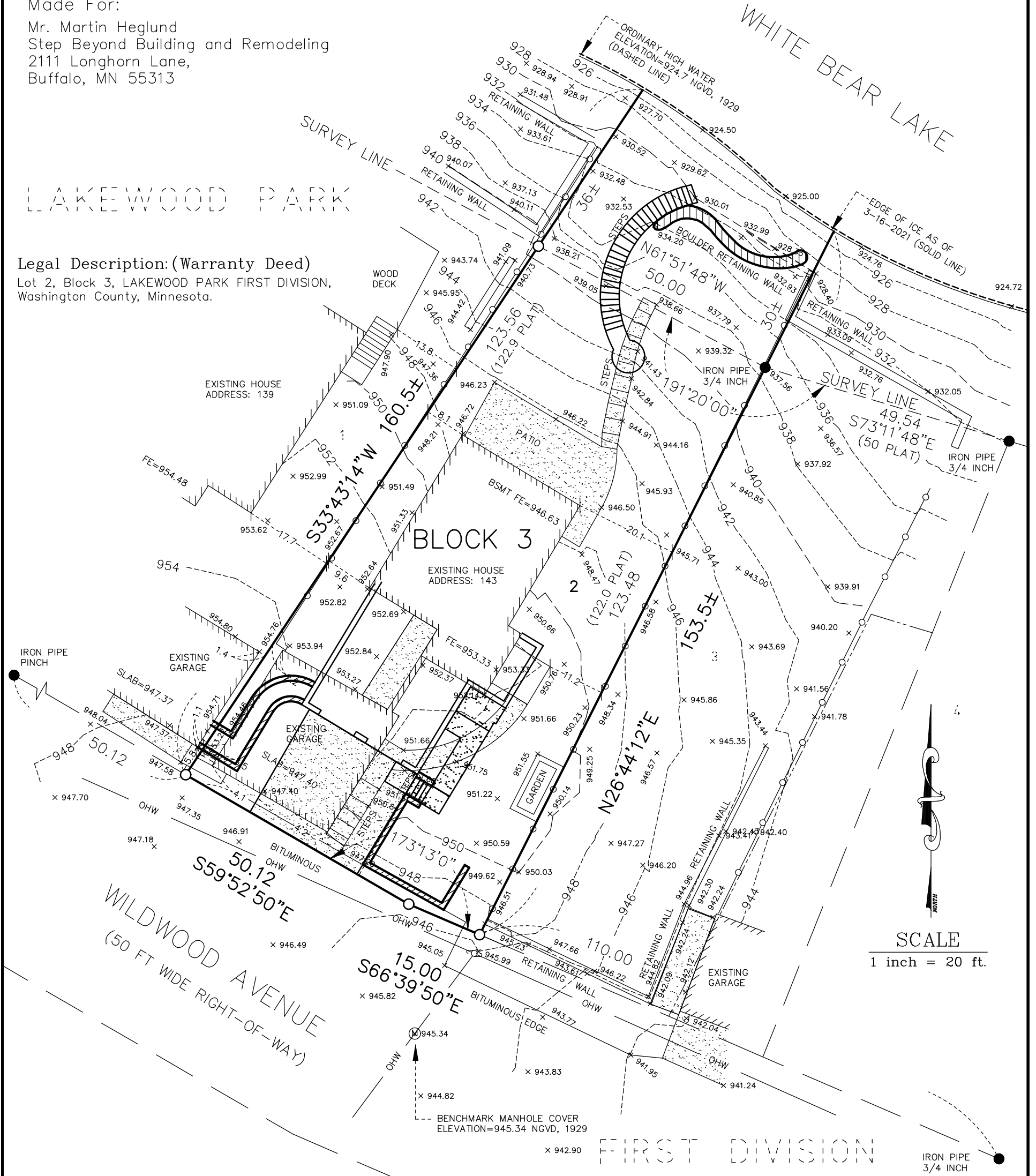
Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

LAKEWOOD PARK

Legal Description: (Warranty Deed)

Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.



SCALE
1 inch = 20 ft.

NOTES:

- DENOTES 12 INCH COMMON SPIKE SET WITH WASHER STAMPED RLS 16464 OR AS NOTED.
- DENOTES IRON MONUMENT FOUND SIZE, TYPE, & R.L.S. AS NOTED.
- x xxx.xx DENOTES EXISTING SPOT ELEVATION
- XXX-- DENOTES EXISTING GRADE CONTOUR
- DENOTES CHAIN-LINK FENCE
- ⊠ DENOTES GAS METER
- ⊞ DENOTES ELECTRIC METER
- ⊕ DENOTES UTILITY POLE
- OHW— DENOTES OVERHEAD UTILITY WIRES
- ⊗ DENOTES WATER VALVE
- ▨ DENOTES CONCRETE SURFACE

AREAS
 EXISTING HOUSE: 1047 SQ. FT.
 REAR STEPS, PATIO AND RETAINING WALLS: 556 SQ. FT.
 FRONT STEPS AND CONCRETE SURFACES: 438 SQ. FT.
 EXISTING GARAGE: 685 SQ. FT.
 TOTAL IMPERVIOUS SURFACE: 1047+556+438+685= 2726 SQ. FT.
 TOTAL LOT AREA TO ORDINARY HIGH WATER ELEVATION: 8726 SQ. FT. OR 0.20 ACRES
 TOTAL PERCENTAGE IMPERVIOUS SURFACE: 2726/8726 = 0.31 x 100 = 31%

BASIS OF BEARINGS: WASHINGTON COUNTY COORDINATES NAD 83 (1986)
 SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jonathan L. Faraci

Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

Rev. June 16, 2021
 Rev. May 12, 2021
 Rev. March 19, 2021
 March 12, 2021

CERTIFICATE OF SURVEY

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

Phone: 651-776-6211

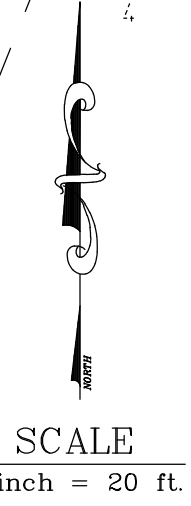
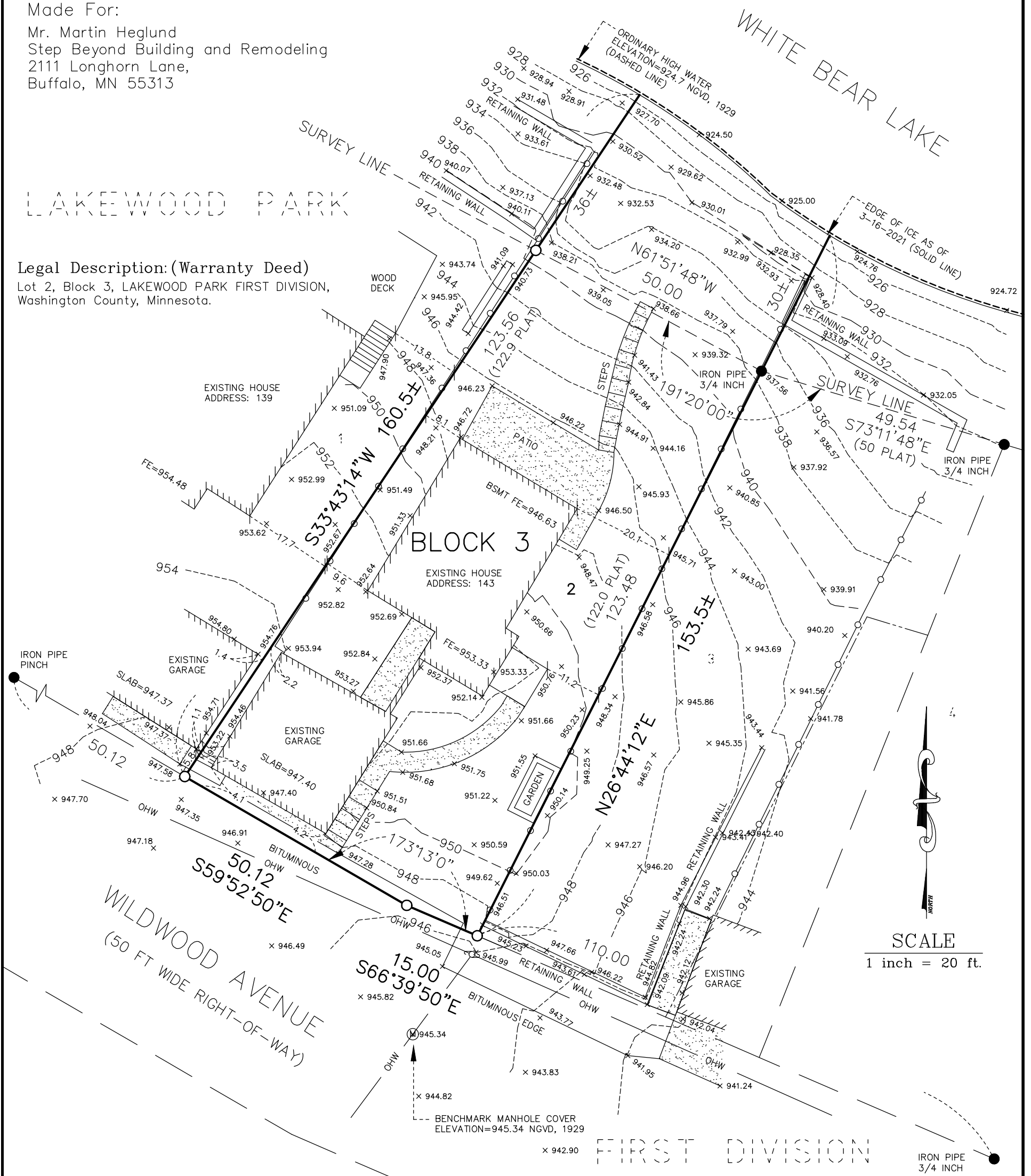
Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

LAKEWOOD PARK

Legal Description: (Warranty Deed)

Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.



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- ▨ DENOTES CONCRETE SURFACE

AREAS
 EXISTING HOUSE: 1047 SQ. FT.
 REAR STEPS, PATIO: 477 SQ. FT.
 FRONT STEPS AND CONCRETE SURFACES: 438 SQ. FT.
 EXISTING GARAGE: 685 SQ. FT.
 TOTAL IMPERVIOUS SURFACE: 1047+477+438+685= 2647 SQ. FT.
 TOTAL LOT AREA TO ORDINARY HIGH WATER ELEVATION: 8726 SQ. FT. OR 0.20 ACRES
 TOTAL PERCENTAGE IMPERVIOUS SURFACE: 2647/8726 = 0.30 x 100 = 30%

BASIS OF BEARINGS: WASHINGTON COUNTY COORDINATES NAD 83 (1986)
 SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

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Rev. June 16, 2021
Rev. May 12, 2021
Rev. March 19, 2021
March 12, 2021

SITE PLAN

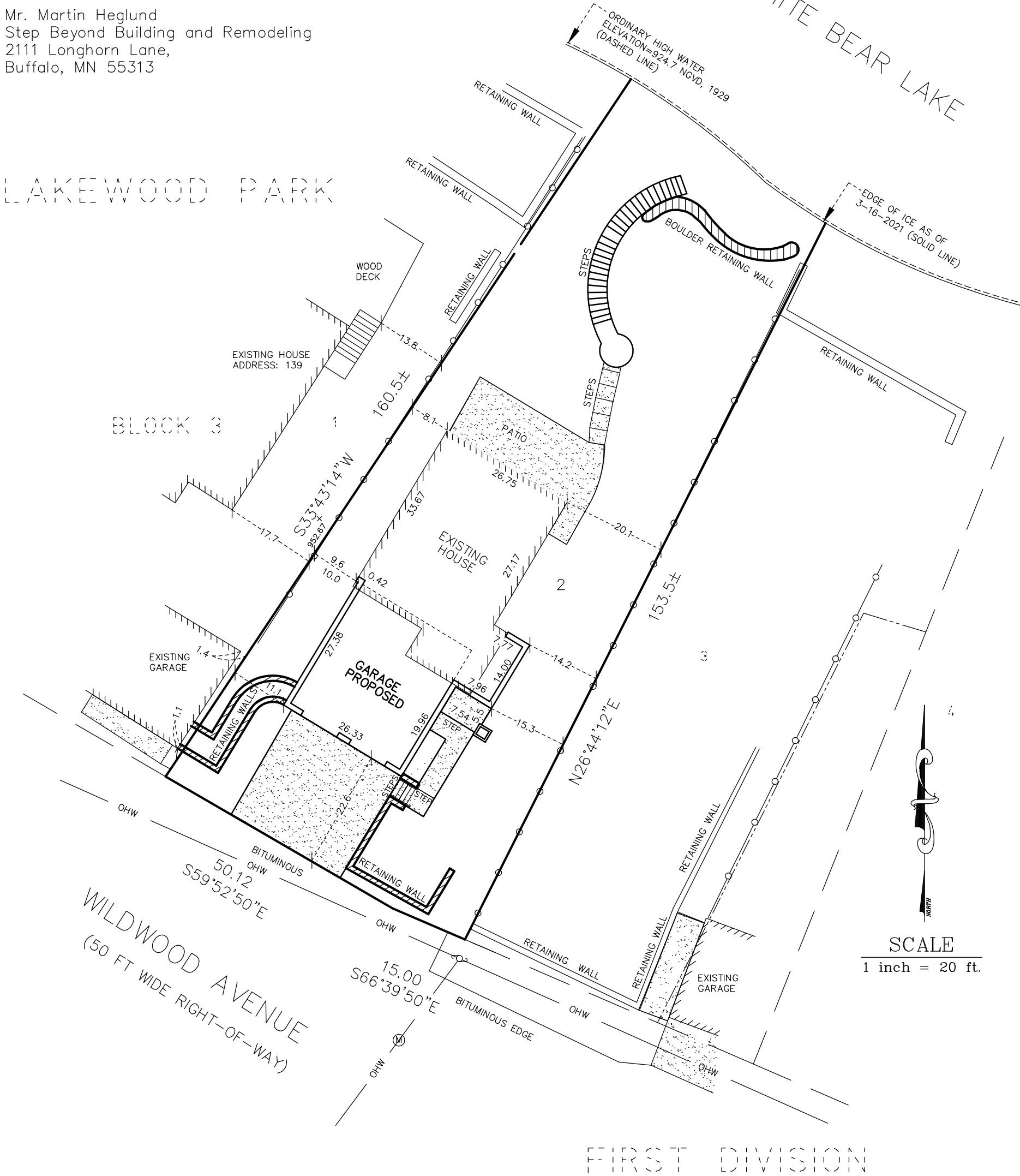
LAKE AND LAND SURVEYING, INC.
 1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211

Made For:

Mr. Martin Heglund
 Step Beyond Building and Remodeling
 2111 Longhorn Lane,
 Buffalo, MN 55313

LAKEWOOD PARK

WHITE BEAR LAKE



SCALE
 1 inch = 20 ft.

FIRST DIVISION

Legal Description: (Warranty Deed)

Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
 Washington County, Minnesota.

SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

LEGEND

- ss— Denotes Underground Sanitary Sewer
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- ⓔ Denotes Electric Meter
- Ⓢ Denotes Utility Pole
- ⓧ Denotes Water Valve
- ▨ Denotes Concrete Surface

AREAS

HOUSE: 1734 SQ. FT.
 FRONT SIDEWALK & STOOP: 147 SQ. FT.
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 TOTAL PERCENTAGE IMPERVIOUS SURFACE: 3209/8726 = 0.37 x 100 = 37%

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Jonathan L. Faraci
 June 16, 2021
 May 12, 2021
 Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

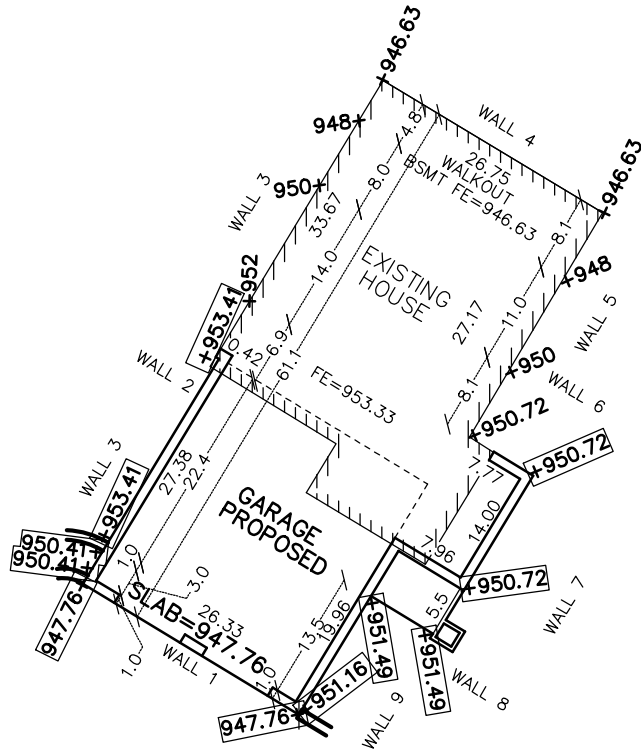
AVERAGE GROUND ELEVATION

LAKE AND LAND SURVEYING, INC.
 1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211

Made For:

Mr. Martin Heglund
 Step Beyond Building and Remodeling
 2111 Longhorn Lane,
 Buffalo, MN 55313

AVERAGE GROUND ELEVATION = 951.89



SEE ATTACHED CALCULATIONS



SCALE
 1 inch = 20 ft.

SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

LEGEND

- x xxx.xx Denotes Existing Spot Elevation
- xxx-- Denotes Existing Contour
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Jonathan L. Faraci June 16, 2021
 May 12, 2021

Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

TEMPORARY SHORING LOCATIONS & SOIL SLOPE FOR SAFE EXCAVATION

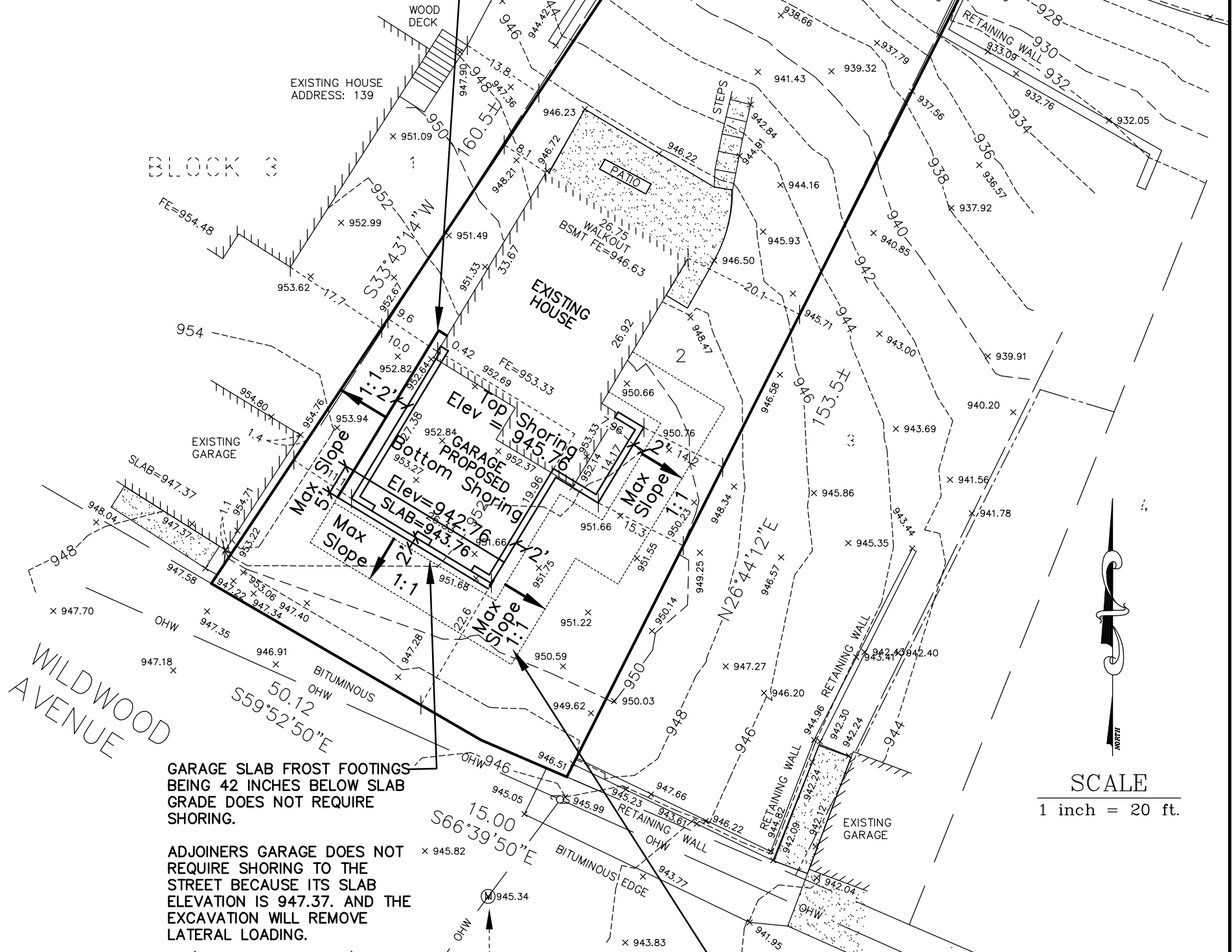
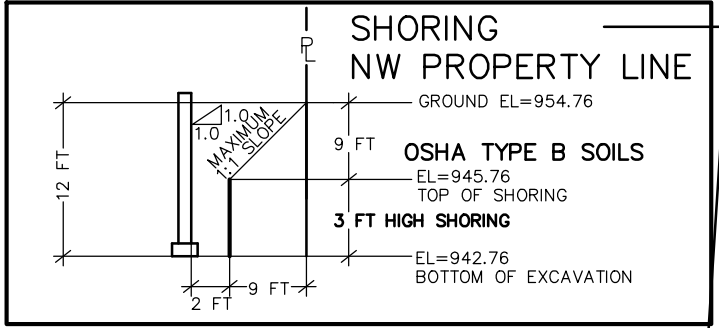
LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375
Mendota Heights, Minnesota 55120
Phone: 651-776-6211

Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

WHITE BEAR LAKE
RICE CREEK WATERSHED DISTRICT
HIGHEST KNOWN WATER LEVELS DNR ID #82-167
ELEVATION=926.7 MSL 1912
ELEVATION=926.51 NGVD, 1929
100-YEAR HIGH WATER ELEVATION=927.30, NAVD 1988
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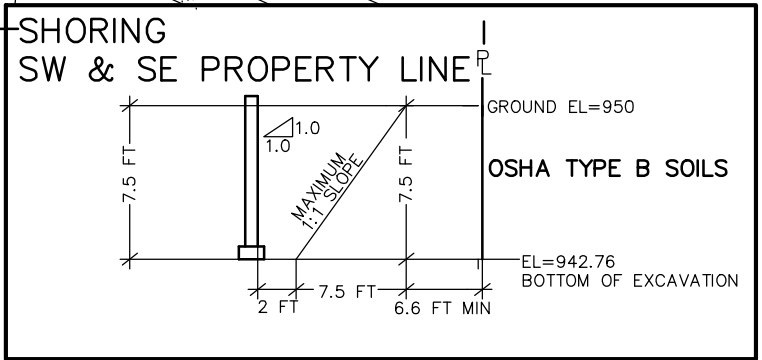


GARAGE SLAB FROST FOOTINGS BEING 42 INCHES BELOW SLAB GRADE DOES NOT REQUIRE SHORING.

ADJOINERS GARAGE DOES NOT REQUIRE SHORING TO THE STREET BECAUSE ITS SLAB ELEVATION IS 947.37. AND THE EXCAVATION WILL REMOVE LATERAL LOADING.

Legal Description: (Warranty Deed)
Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.
SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

LEGEND	
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▨	Denotes Concrete Surface



TEMPORARY SHORING AT 2 FT MAXIMUM FROM FOUNDATION LINE.
3X3 STEEL POSTS PLACED AT 3.5 FEET O.C.
DRIVEN 6 FEET MINIMUM INTO THE BOTTOM OF THE EXCAVATION.
(2PLY) 3/4 INCH PLYWOOD TO 3 FT HIGH
SHORING NEEDS TO EXTEND 5 FT PAST THE FOOTINGS STEP DOWN
SHORED AREAS: SLOPE SOIL AT 1 TO 1 MAXIMUM BACKSLOPE (SEE DETAIL)

I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jonathan L. Faraci
Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464
June 16, 2021
May 12, 2021



City of Birchwood Village Petition for Variance Application

207 Birchwood Ave, Birchwood, MN 55110
Phone: 651-426-3403 Fax: 651-426-7747
Email: info@cityofbirchwood.com

FOR OFFICIAL USE ONLY

Application Received Date: _____ Amount Paid: \$ _____ Payment Type

(Circle One): Cash / Check / Money Order / Credit Card

Check/Money Order # _____

Application Complete? Yes No If no, date application was deemed complete: _____ Signature

of City Planner: Steve W. Fletcher Date: 7/7/21

Completed requests for variances submitted prior to the first Thursday of the month will be considered by the Planning Commission at its next meeting on the fourth Thursday of the month. Requests submitted after the first Thursday of the month will be considered at the following meeting. All final decisions on variance applications are made by the City Council, which meets on the second Tuesday every month.

1. Name of Applicant(s) A STEP BEYOND BUILDING AND REMODELING, LLC

Address 2111 Longhorn Lane

City: Buffalo State MN Zip Code 55313 Business Phone
763-682-7080 Home Phone _____

2. Address of Property Involved if different from above: 143 Wildwood Ave. Birchwood Village,
MN 55110

3. Name of Property Owner(s) if different from above and describe Applicant's interest in
the property:

_____ Cameron and Jessica Sigecan

4. Specific Code Provision from which Variance is requested: 301.050 (B5 a-b)

5. Describe in narrative form what the Applicant is proposing to do that requires a variance:

Applicant is seeking a variance on the setback restrictions established in the above referenced code. The current garage is attached to the home by a tunnel and has caused serious issues with water; Enough so that there are clear signs of deterioration causing structural and safety hazards. The water leakage and build-up also poses an environmental threat as there will be a newborn in the home. The owners of the property intend to remove the tunnel, replace the existing garage with a new one, and add a general purpose room above. In order to best meet setback requirements, they would remove the tunnel and attach the new structure directly to the home—This allows for a

CITY OF BIRCHWOOD VILLAGE MEMORANDUM

TO: Birchwood Village Planning Commission

FROM: Thatcher Engineering, Inc.

DATE: July 7, 2021

APPLICANT:

It appears that Cameron Sigecan, 143 Wildwood Avenue, Birchwood Village, MN 55110 is the Applicant because he signed the application on June 18, 2021. However, Item #1 on page 1, Name of the Applicant(s), shows that the applicant is A Step Beyond Building and Remodeling, 2111 Longhorn Lane, Buffalo, MN 55313.

Thatcher Engineering, Inc. (TEI) recommends that Cameron Sigecan clarify the Applicant(s).

PROPERTY OWNER(S): Cameron and Jessica Sigecan

LOCATION: 143 Wildwood Avenue, Birchwood Village, MN 55110

REQUEST

Variance Request #1:

The Applicant is requesting a variance from City Code 301.050.B.5.a. and b (NON-CONFORMING USES).

Variance Request #2:

The Applicant is requesting a variance from City Code 302.050 (IMPERVIOUS SURFACES).

Variance Request #3:

The Applicant is requesting a variance from City Code 302.020.4.b (A variance from the setback requirement for a retaining wall within 50 feet of the Ordinary High Water Level (OHWL) of White Bear Lake).

Variance Request #4:

The Applicant is requesting a variance from City Code 302.055.2.a.4 (A variance from the no grading requirement for grading within 20 feet of the OHWL).

The Applicant is making the requests because of the following:

1. The current garage is attached to the existing house by a tunnel that has caused serious water issues.
2. The current garage is run down and shows signs of deterioration.

The property owners intend to do the following:

1. Remove the current garage and tunnel.
2. Install a new garage with general purpose room above it.
3. Attach the new garage with general purpose room to the existing house.

BACKGROUND

Variance Request #1:

1. City Code 301.050 states:

"301.050 NON-CONFORMING USES.

A. Definition: Non-Conforming Use. See definition in Section 300.020.34

B. Pre-Existing Structures or Uses: A non-conforming use may be continued so long as it remains otherwise lawful, subject to the provisions of paragraphs (1) through (7) below, in order to ensure that the non-conforming use will not be intensified and that, over time, the non-conforming use will, where possible, be brought into conformity with the Zoning Code.

1. A Non-Conforming Pre-Existing Structure shall not be enlarged, modified, changed, extended (either horizontally or vertically) or structurally altered, unless such changes bring the Non-Conforming Pre-Existing Structure into conformity with the Zoning Code. (Exception: A non-conforming use, lawfully located within 60% of all required setbacks, may be structurally altered if the alterations do not change the horizontal or vertical dimensions of the structure and otherwise conform to the Zoning Code.)

2. A non-conforming use shall not be moved to any other part of the parcel of land upon which the same was constructed unless the move would bring the structure and its use into conformity with the Zoning Code.

3. If any Non-Conforming Pre-Existing Structure or Use is destroyed by fire or other peril to the extent of greater than 50 percent of its estimated market value, as indicated in the records of the county assessor at the time of damage, and no building permit has been applied for within 180 days of when the property is damaged, any replacement or reconstruction must conform to the provisions of the Zoning Code. Exception: If the non-conforming use that is to be reconstructed came

into being as the result of a previously granted variance, the Council, after review, may continue the variance if the owner demonstrates that the conditions under which that variance was granted continue to exist.

4. Normal maintenance of a Non-Conforming Pre-Existing Structure is permitted, including necessary non structural repairs and incidental alterations which do not physically extend or intensify the non-conforming use.

5. Notwithstanding paragraph (1) above, a Non-Conforming Pre-Existing Structure may be expanded, provided:

a. That such expansion does not increase the non-conformity in any dimension (vertical or horizontal), does not create a new non-conforming use, and in itself conforms with the Zoning Code; and

b. The sum of the setbacks on either side of the structure is not LESS than 20 feet.

6. When any Non-Conforming Pre-Existing use of land or of a building or structure is discontinued for a period in excess of one year, such land, building, or structure shall thereafter be used only as allowed by this Code.

7. No provision of this section shall be interpreted as negating the provisions of 302.015 (Undersized Lots).

C. Illegal Structures, Uses, or Lots: Any replacement or reconstruction of any kind of a Non-Conforming Illegal Structure, Use, or Lot must conform to the provisions of the Zoning Code.” [Bold and underlines are in the Code]

City Code Section 300.020.34 states: “Non-Conforming Use. **Non-Conforming Pre-Existing Structure or Use:** Any building or structure which was legally existing on January 1, 1975, or authorized by variance thereafter, which would not conform to the applicable conditions if the building or structure were to be erected under this Code. **Non-Conforming Illegal Structure, Use, or Lot:** A lot, building, structure, premises, or use illegally established when it was initiated, created, or constructed, which did not conform with the applicable conditions or provisions of the City Code for the area in which the structure or use is located.” [Bold and underlines are in the Code]

Variance Request #2:

City Code 302.050 IMPERVIOUS SURFACES states: “1. Limitation. Impervious surface coverage of lots shall not exceed twenty-five (25) percent of the lot area unless the applicant satisfies the following conditions to obtain a variance:

- a. The applicant shall submit a stormwater management plan for the site that analyzes the proposed development including the area(s) of impervious surfaces, direction of runoff, proposed best management practices to manage runoff, and stormwater retention that the best management practices will achieve.
- b. The stormwater management plan shall include structures and/or best management practices for the mitigation of stormwater impacts on receiving waters in compliance with the City's Surface Water Management Plan, or as approved by the City Engineer, so that the site design includes stormwater management practices that control the stormwater runoff volumes, and the post-construction runoff volume shall be retained on site for 1.1 inches of runoff from impervious surfaces.
- c. The applicant shall utilize the most recent version of the Minnesota MIDS (Minimum Impact Design Standards) Calculator (available on the Minnesota Pollution Control Agency's website), the U.S. Environmental Protection Agency's National Stormwater Calculator, or another similar stormwater design calculator approved by the city to complete the plan and show that the proposed stormwater management practices meet the required infiltration standard. The applicant shall submit the calculator results to the City with the stormwater management plan.
- d. The applicant shall provide documentation that the proposed stormwater management methods meet the required standard, will be designed and installed consistent with the City's Surface Water Management Plan, NPDES stormwater standards, and the Minnesota Pollution Control Agency's Minnesota Stormwater Manual.
- e. No pervious pavement system is permitted in the Shore Impact Zone. (The Shore Impact Zone is the land located between the ordinary high water level of a public water and a line parallel to it at a setback of 50 percent of the required structure setback. The required structure setback from the OHWL in the City of Birchwood Village is 50 feet, and the Shore Impact Zone is 25 feet.)
- f. Site design shall comply with the City's zoning code 302.055, and shall minimize changes in ground cover, loss of natural vegetation, and grade change as much as possible.
- g. The base of installed infiltration structures or practices must be a minimum of three (3) feet above the established ground water table or the Ordinary High Water Level of White Bear Lake, whichever is higher.
- h. The stormwater management practices shall be designed in accord with the Minnesota Stormwater Manual, American Concrete Pavement Association design criteria, Center for Watershed Protection, Stormwater BMP Design Supplement for Cold Climates, or other design guidance provided by the City.

- i. The stormwater management plan shall include the applicant's description of how the practices shall be maintained to function as designed for the long-term. The City may inspect the installation of the stormwater management system at the site.
- j. The applicant shall include the maintenance plan and a maintenance schedule for the approved stormwater management practices with the required permit application.
- k. The variance shall not be valid unless the applicant properly records the variance at the property records at Washington County and a copy of the recording is properly returned to the City for verification."

Currently, this property does not conform to City Code 302.050 IMPERVIOUS SURFACES because the application shows that the existing impervious surface coverage 31%. The proposed impervious surface coverage is 37%.

The application provides the information needed to show that the proposed work will meet some of the conditions for Variance Request #2. The conditions that are satisfied are the following:

- Item a.
- Item b.
- Item c.
- Item e.
- Item f.
- Item g.
- Item h.
- Item k. The applicant will record the variance at Washington County, if approved.

The information in the application is helpful, but still does not provide all the information needed to show that the proposed work will meet the conditions for Variance Request #2. The additional information needed includes the following:

- Item d.: Additional best management practices (BMP) are needed for the underground infiltration basin (trench drain) based on the Minnesota Pollution Control Agency Stormwater Manual. The following is needed:
 - Pre-treatment to protect the groundwater quality and reduce the risk of small particles plugging the underground infiltration basin.
 - Pre-treatment - practices used to reduce, eliminate, or alter pollutants in stormwater, primarily sediment, before they are discharged into structural stormwater BMPs. Pretreatment practices include settling devices, screens, and pretreatment vegetated filter strips.
 - These systems are susceptible to clogging by sediment and organic debris.
 - Clogging will adversely impact the life and operation of the BMP.

- Heat cable with built-in thermostat in the downspouts and pipes between the downspouts and the infiltration basin for pipe and downspout freeze protection.
 - Minimizes the risk of damage to the house and pipes because of water freezing in the downspouts or pipes during the freeze thaw cycle.
- Design to allow active inspection
 - One concern with infiltration in cold weather is the ice that forms both over the top of the practice and within the soil structure, which can completely stop infiltration. To limit the effect of this problem, it is HIGHLY RECOMMENDED that the BMP be actively inspected to ensure that it is properly drawing down before it freezes in the late fall. Adequate drawdown can be determined using one of the several field assessment techniques such as those recommended by the University of Minnesota Extension. If it is determined that stormwater runoff is not infiltrating prior to hard freeze, the BMP should be placed offline for correction in the spring.
- Designed to safely pass large storm flows while still protecting the infiltration area.
 - Smaller infiltration practices (e.g. infiltration trenches) should either be designed off-line using a flow diversion, or designed to safely pass large storm flows while still protecting the infiltration area.
- Item i.: Information regarding the stormwater management plan and shall include the applicant's description of how the practices shall be maintained to function as designed for the long-term.
- Item j.: Information regarding the maintenance plan and a maintenance schedule for the stormwater management practices.

Please note that even though there are potential physical clogging problems with infiltration, it is one of the most important BMP in stormwater runoff treatment. Fear of the limitations should not prevent well designed systems from being used.

Variance Request #3:

City Code 302.020.2 requires the setback of all other structures to be 50 feet from the OHWL of White Bear Lake.

City Code 302.020.4.b states: "Retaining Wall Setbacks: Front, back, side street and other lot line setback requirements shall not apply to retaining walls except that the ordinary high water level setback requirements shall apply to retaining walls."

The Site Plan prepared by Lake and Land Surveying, Inc. dated June 16, 2021 shows a boulder retaining wall within 50 feet of the OHWL of White Bear Lake. Thus, a variance from the setback requirement is needed if a boulder retaining wall is proposed within 50 feet of the OHWL.

Variance Request #4:

City Code 302.055.2.a.4 states: "No grading or filling shall be permitted within twenty (20) feet (measured horizontally) of the ordinary high water level of any lake, pond, or wetland."

The Site Plan prepared by Lake and Land Surveying, Inc. dated June 16, 2021 shows grading within 20 feet of the OHWL of White Bear Lake. Thus, a variance from the no grading requirement is needed if grading is proposed within 20 feet of the OHWL.

SITE CHARACTERISTICS

The lot area is 8,726 square feet according to the Certificate of Survey (COS) prepared by Lake and Land Surveying, Inc. dated June 16, 2021. The lot is narrow (about 50.0 feet wide) and contains a single-family residence.

PRACTICAL DIFFICULTY

- 1) The lot is an undersized lot based on City Code because the width is about 50.0 feet.
- 2) The lot has steep slopes and topography challenges.
- 3) The lot is extremely narrow and long.

STATUTORY REQUIREMENTS FOR PERMITTING VARIANCES

Minnesota State Statute 462.357 allows for a variance to be permitted only when:

- (1) The proposed use is in harmony with the general purposes and intent of the City's zoning ordinance;
- (2) The variance is consistent with the City's comprehensive plan; and,
- (3) The applicant establishes that there are practical difficulties in complying with the zoning ordinance.

Statutory criteria used to establish a practical difficulty include:

- (1) The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance;
- (2) The plight of the landowner is due to circumstances unique to the property not created by the landowner; and
- (3) The variance, if granted, will not alter the essential character of the locality.

CITY CODE REQUIREMENTS FOR PERMITTING VARIANCES

Sec 304.040 of the City Code states:

Variances to the strict application of the provisions of the Code may be granted, however, no variance may be granted that would allow any use that is prohibited within the City. Conditions and safeguards may be imposed on the variances so granted. A variance shall not be granted unless the following criteria are met:

SUBD. 1.

- A. Variances shall only be permitted
 - i. when they are in harmony with the general purposes and intent of the ordinance and
 - ii. when the variances are consistent with the comprehensive plan.
- B. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance.

SUBD. 2. "Practical difficulties," as used in connection with the granting of a variance, means that

- i. Special conditions or circumstances exist which are peculiar to the land, structure, or building involved.
- ii. The condition which result in the need for the variance were not created by the applicant's action or design solution. The applicant shall have the burden of proof for showing that no other reasonable design solution exists.
- iii. The granting of a variance will result in no increase in the amount of water draining from the property.
- iv. Granting the variance will not impair an adequate supply of light and air to adjacent property, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, or welfare of the residents of the City.
- v. No variance shall be granted simply because there are no objections or because those who do not object outnumber those who do.
- vi. Financial gain or loss by the applicant shall not be considered if reasonable use for the property exists under terms of the Zoning Code.

ANALYSIS

The lot is an undersized lot with steep slopes and topography challenges. City Code 302.015 allows undersized lots to be utilized for single-family detached dwelling purposes provided the measurements of such area, width, or open space are at least 60% of that required.

REASONS FOR RECOMMENDING VARIANCE APPROVAL

Variance Requests:

1. The plan meets City Code requirements.
2. The lot is an undersized lot.
3. This project would preserve the essential character of the locality.

REASONS FOR RECOMMENDING VARIANCE DENIAL

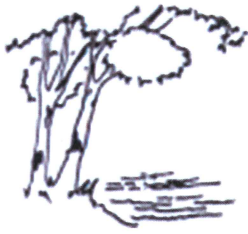
Variance Requests:

1. A primary goal of the City of Birchwood Village's Zoning Ordinance is "to ensure that a non-conforming use is not intensified and that, over time, the non-conforming use will, where possible, be brought into conformity with the Zoning Code." The following could be argued:
 - a. That they are not in harmony with the general purposes and intent of the ordinance.
 - b. That the variance is not consistent with the comprehensive plan.
 - c. That the Applicant for the variance has not established that there are practical difficulties in complying with the zoning ordinance.
 - d. The lot does not meet the requirements of City Code 302.015.

CONDITIONS

If approved, a requested variance may be approved subject to the following conditions:

1. All application materials, maps, drawings and descriptive information submitted with this application shall become part of the building permit.
2. Per City Code 304.090, the variance shall become null and void if the project has not been completed or utilized within one year after the date it was granted, subject to petition for extension by the City Council.
3. Land alteration may not cause adverse impact upon abutting property.
4. Applicant shall meet the requirements of City Code 301.055 which states: "For a building permit, the applicant must submit stormwater and erosion control plans prepared and signed by a licensed professional engineer. The plans must be approved by the city engineer and the permit holder must adhere to the approved plans. The stormwater management plan must detail how stormwater will be controlled to prevent damage to adjacent property and adverse impacts to the public stormwater drainage system."
5. The variance shall not be valid unless the applicant properly records the variance at the property records at Washington County and a copy of the recording is properly returned to the City for verification."



City of Birchwood Village

Petition for Variance Application

207 Birchwood Ave, Birchwood, MN 55110
Phone: 651-426-3403 Fax: 651-426-7747
Email: info@cityofbirchwood.com

FOR OFFICIAL USE ONLY

Application Received Date: _____ Amount Paid: \$ _____ Payment Type

(Circle One): **Cash / Check / Money Order / Credit Card**

Check/Money Order # _____

Application Complete? Yes No If no, date application was deemed complete: _____ Signature
of City Planner: _____ Date: _____

Completed requests for variances submitted prior to the first Thursday of the month will be considered by the Planning Commission at its next meeting on the fourth Thursday of the month. Requests submitted after the first Thursday of the month will be considered at the following meeting. All final decisions on variance applications are made by the City Council, which meets on the second Tuesday every month.

1. Name of Applicant(s) A STEP BEYOND BUILDING AND REMODELING, LLC

Address 2111 Longhorn Lane

City: Buffalo State MN Zip Code 55313 Business Phone
 763-682-7080 Home Phone _____

2. Address of Property Involved if different from above: 143 Wildwood Ave. Birchwood Village,
MN 55110

3. Name of Property Owner(s) if different from above and describe Applicant's interest in
the property:
_____ Cameron and Jessica Sigecan

4. Specific Code Provision from which Variance is requested: 301.050 (B5 a-b)

5. Describe in narrative form what the Applicant is proposing to do that requires a variance:

Applicant is seeking a variance on the setback restrictions established in the above referenced code. The current garage is attached to the home by a tunnel and has caused serious issues with water; Enough so that there are clear signs of deterioration causing structural and safety hazards. The water leakage and build-up also poses an environmental threat as there will be a newborn in the home. The owners of the property intend to remove the tunnel, replace the existing garage with a new one, and add a general purpose room above. In order to best meet setback requirements, they would remove the tunnel and attach the new structure directly to the home—This allows for a

considerable increase in distance from the proposed garage and the street, which, as the structure currently exists, would still be under the 30' requirement. Currently the neighboring garage is separated by a 5' retaining wall, leaving each property short of compliance. The proposed addition has been made to fit the acceptable setback guidelines according to those provided to us by the variance committee at previous meetings. In addition, the applicant believes that the room addition above the garage meets conforming standards as it is currently planned. As the lot size cannot be changed, we will require a variance in regards to that.

6. Type of Project:

- New Construction (empty lot)
- Addition
- Demolition
- Landscaping
- Repair or removal of nonconforming structure
- Other (describe) _____

7. Type of Structure Involved:

- Single Dwelling Double Dwelling
- Garage Addition
- Tennis Court Pool
- Grading/Filling
- Other (describe) _____

8. Using the criteria from the City Code for a variance (see last page), explain why a variance is justified in this situation and describe what "Practical Difficulties" exist:

The owners feel the requirement for the proposed garage/addition from the west can only be resolved with a variance, as the only alternative to a new garage is to move its location—It is the owner's contention that this would create undue hardship financially and prove to be impractical in use and efficiency and would limit, if not completely block, access to the lakefront. The remaining setbacks have been brought into acceptable compliance with code as specified to us by the variance committee. The lakefront setbacks and method of construction for said setbacks are being managed by a separate contractor who is working with the DNR and Rice Creek Watershed Management District. This contractor will also be taking care of all landscaping and retaining walls that need to be constructed or modified. These details have been attached to this application. We are including this information, including the narrative and any relevant plans and drawings to expedite the approval process. We ask that any variances they would need to be addressed be granted in this application. As the lot size prevents us from complying with existing code, we will require a grandfather exemption therefore, the variance is needed. It is our understanding that if we modified the plans by taking 3' off the original proposed dimensions it would meet acceptable compliance as specified by the Variance Committee. As noted in the completed chart below, as the structure exists the total percentage of Impervious Surfaces is 31%. By including all hard surfaces, including the

retaining wall, the percentage of Impervious Surfaces for the proposed garage and addition increases to 37% —Which is still over the 25% maximum set in section 302.050 of the Birchwood Village Land Use and Zoning Codes. We have reviewed the codes and believe that this should be considered a nonconforming structure, as the percentage only increases by 6% and, because the existing structure's Impervious Surface percentage does not meet current codes, that this increase will not cause undue conflict or impact by being more than current code allows. Attached we have included plans to engineer and install an infiltration basin which will mitigate runoff. It is our hope that these plans will bring the project into compliance with code.

9. Describe any measures the Applicant is proposing to undertake if the variance is granted, including measures to decrease the amount of water draining from the property:

We have drafted and attached an updated Certificate of Survey, Erosion Control Plan, a Grading Plan, an Overlay Exhibit, as well as plans for Temporary Shoring Locations and Soil Slope for Safe Excavations. Based on the surveying that has been done and the plans made from that survey, we believe we have done everything we can to be in or as close to compliance as possible while accounting for erosion control and safe excavation.

10. Describe any alternatives the Applicant considered (if any) that do not require a variance:

Throughout the various committee meetings and coordinating with engineers, surveyors, architects, and building professionals, we believe we have considered any and all measures we would need to take in order to reach compliance with code. As previously mentioned, we have drafted and attached the necessary plans so that we may adhere to any guidelines regarding excavation, run-off management, and erosion control.

11. Can an emergency vehicle (Fire Truck or Ambulance) access all structures on the property after the proposed change? Yes No

12. Does the proposed change bring any other nonconforming use into conformity with the City Building Code? Yes No

If yes, explain:

13. Are there other governmental regulations that apply to the proposed action, including requirements of the Rice Creek Watershed District? Yes No

The DNR and Rice Creek Watershed District will be involved with the lakeside retaining wall, and should be considered in this application for expediency. Those details have no effect on the garage/addition, which is the main focus of the applicant. The garage/addition itself is not limited by other governing agencies, such as the DNR and/or the Rice Creek Watershed District.

If yes, please identify the regulations AND attach evidence demonstrating compliance:

As previously mentioned, we have attached to this application, documents and plans drafted in cooperation with the DNR and Rice Creek Watershed District. Any regulations and evidence demonstrating compliance will be in these documents.

14. Please provide the applicable information in the following Table:

	EXISTING	PROPOSED	CHANGE
1. Total Square Footage of Lot	8726	8726	0
2. Maximum Impervious Surface (25% of item 1)	2182	2182	0
3. Roof Surface	1845	1734	-111
4. Sidewalks	748	748	0
5. Driveways	54	554	+500
6. Other Impervious Surface	79	173	+94
7. Total of Items 3-6	2726	3209	+483
8. Percent Impervious Surface	31%	37%	+6%

15. Please attach the following:

- Legal description of property.
- Plot plan drawn to scale showing existing and proposed new and changed structures on the lot. Also show existing structures on adjacent lots.

Criteria for Granting a Variance. Pursuant to Minn. Stat. Sec. 462.357, subd. 6, as it may be amended from time to time, the Planning Commission may issue recommendations to the City Council for variances from the provisions of this zoning code. A variance is a modification or variation of the provisions of this zoning code as applied to a specific piece of property.

Variances to the strict application of the provisions of the Code may be granted, however, no variance may be granted that would allow any use that is prohibited within the City. Conditions and safeguards may be imposed on the variances so granted. A variance shall not be granted unless the following criteria are met:

SUBD. 1.

- A. Variances shall only be permitted
 - i. when they are in harmony with the general purposes and intent of the ordinance and
 - ii. when the variances are consistent with the comprehensive plan.
- B. Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance.

SUBD. 2. "Practical difficulties," as used in connection with the granting of a variance, means that

- i. Special conditions or circumstances exist which are peculiar to the land, structure, or building involved.
- ii. The condition which result in the need for the variance were not created by the applicant's action or design solution. The applicant shall have the burden of proof for showing that no other reasonable design solution exists.
- iii. The granting of a variance will result in no increase in the amount of water draining from the property.
- iv. Granting the variance will not impair an adequate supply of light and air to adjacent property, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, or welfare of the residents of the City.
- v. No variance shall be granted simply because there are no objections or because those who do not object outnumber those who do.
- vi. Financial gain or loss by the applicant shall not be considered if reasonable use for the property exists under terms of the Zoning Code.

NOTICE:

***The City and its representatives accept no responsibility for errors and/or damages caused due to incomplete and/or inaccurate information herein. It is the responsibility of the applicant to ensure the accuracy and completeness of this information.**

***The City will hold applicant responsible for any damage to public property that occurs in the course of performing the activities of this permit.**

***Under penalty of perjury the applicant declares that the information provided in and enclosed herewith is complete and all documents represented are true and correct representations of the actual project/building that will be built in conformance with such representation if approved.**

Signature of Applicant:  Date: 6/18/2021

PROPOSED AND EXISTING ELEVATION VIEWS

1/4" = 1'

PROPRIETARY WORK NOTICE

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF WOODLAND DESIGN LLC. DEVELOPED FOR THE EXCLUSIVE USE OF WOODLAND DESIGN LLC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF WOODLAND DESIGN LLC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

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TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH ORDINANCES AND OR BUILDING SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTING ARE MADE AT THE RISK OF THE OWNER AND I AM NOT RESPONSIBLE FOR ANY SUCH CHANGES. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES.

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EXTERIOR FINISHING NOTES:
 1. EXTERIOR FINISH TO BE LFB SMARTSIDE OVER 3/8\"/>

EXTERIOR FINISH NOTES:
 1. EXTERIOR FASCIA, FRIEZE AND SHADOW CROWN HOLDINGS TO BE FIELD VERIFIED AND MATCH TO EXISTING
 2. WINDOW/DOOR CASING TO BE FIELD VERIFIED AND MATCHED TO EXISTING
 3. EXTERIOR SIDINGS TO BE STUCCO, FIELD VERIFIED AND MATCHED WITH EXISTING AS SPECIFIED IN PLANS
 4. ROOFING TO BE ASPHALT SHINGLES, 3/8\"/>

EROSION CONTROL NOTES:
 1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION
 2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS
 3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR POOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR SOIL APPLICATION
 4. IMPROVED WITH A P600 CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2.000/LBS. USE AN ORGANIC TAGGERS AT NO LESS THAN 1/8\"/>

VERIFICATIONS:
 HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS BY STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK
 BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS AND CONNECTIONS BEFORE CONSTRUCTION BEGINS
 ELECTRICAL SYSTEM CODE: SEC 201
 MECHANICAL SYSTEM CODE: SEC 201
 PLUMBING SYSTEM CODE: SEC 201



REMODELING PROJECT FOR:
 CAMERON AND JESSICA SIGECAN
 143 WILDWOOD AVE
 BIRCHWOOD VILLAGE, MN 55110

CONTRACTOR OF RECORD:
 TBD

WOODLAND DESIGN LLC
 LAKE ELMO, MN
 woodland@ustfamily.net
 Phone: 651/472-6022



INITIAL DESIGN DATE:
 11/30/2020

CURRENT DATE:
 4/7/2021

SCALE:
 1/4" = 1' (OR AS NOTED)

DRAWING SHEET SIZE:
 ARCH D (24" x 36")

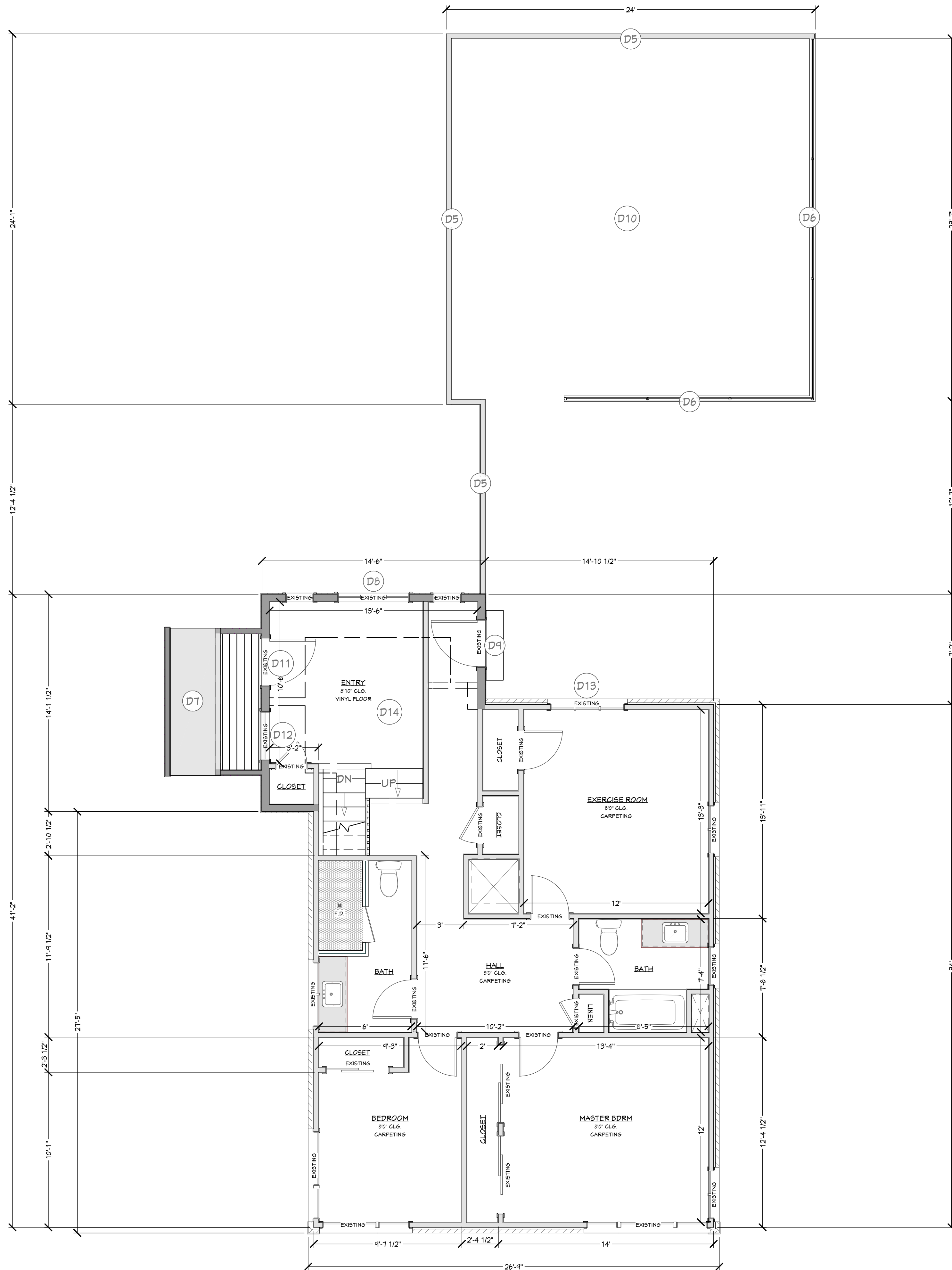
LIVING AREA SQ. FT.:

SHEET:

A1

EXISTING MAIN AND FOUNDATION LEVELS

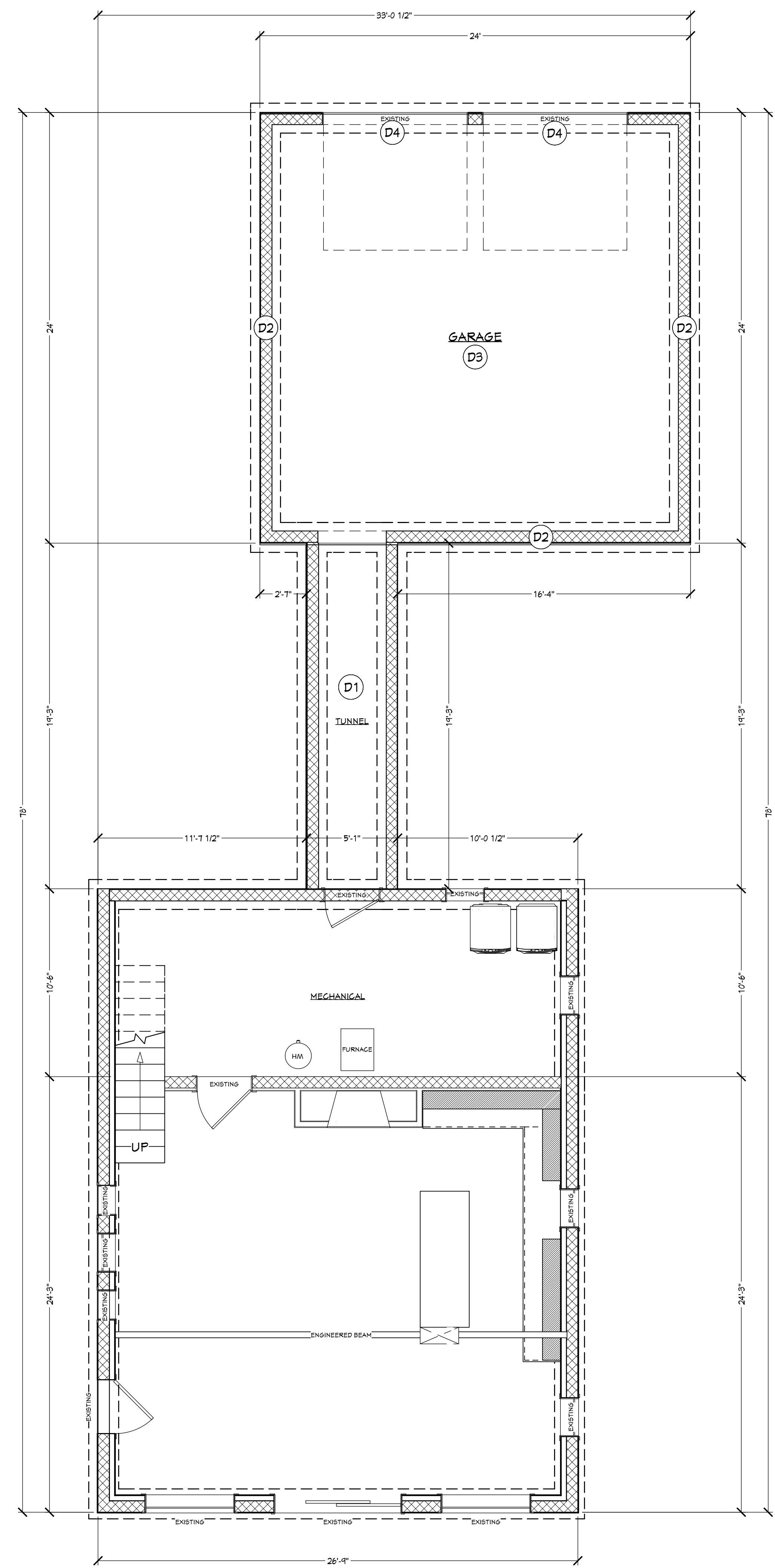
1/4" = 1'



UNIFORM DISCLOSURE AND NOTICE:
 TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNERS AND OR BUILDERS SPECIFICATIONS AND ANY CODES THEREIN. THE ARCHITECTURE AND ENGINEERING FIRM SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REQUIREMENTS. WOODLAND DESIGN LLC IS NOT LIABLE FOR ERRORS IN THE CONSTRUCTION AND DESIGN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS, THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO VERIFY ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

VERIFICATIONS:
 HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS.
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR PROCEEDING WITH WORK.
 BUILDING CONTRACTOR/OWNER TO VERIFY AND VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 ELECTRICAL SYSTEM CODE: SEC 201
 MECHANICAL SYSTEM CODE: SEC 201
 PLUMBING SYSTEM CODE: SEC 201

DEMO SCHEDULE	
D1	DEMO AND DISCARD TUNNEL WALLS, FLOOR AND ROOF
D2	DEMO AND DISCARD EXIST. GARAGE WALLS
D3	DEMO AND DISCARD EXIST. GARAGE FLOOR
D4	REMOVE AND SAVE EXISTING OHD
D5	DEMO AND DISCARD WALL
D6	REMOVE AND SAVE FENCING
D7	DEMO AND DISCARD PORCH
D8	REMOVE AND REUSE WINDOWS
D9	REMOVE AND SAVE EXT. DOOR
D10	DEMO AND DISCARD EXIST. GARAGE ROOF/CLG.
D11	REMOVE AND SAVE DOOR
D12	REMOVE AND SAVE WINDOW
D13	REMOVE AND DISCARD WINDOW
D14	DEMO AND DISCARD EXISTING ENTRY ROOF

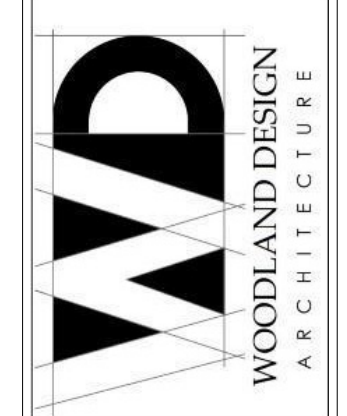


WOODLAND DESIGN LLC
 143 WILLOW AVE
 BIRCHWOOD VILLAGE, MN 55110

REMODELING PROJECT FOR:
 CAMERON AND JESSICA SIGECAN
 143 WILLOW AVE
 BIRCHWOOD VILLAGE, MN 55110

CONTRACTOR OF RECORD:
 TBD

WOODLAND DESIGN LLC
 LAKE ELMO, MN
 Phone: 651/472-6032
 woodland@ustfamily.net



INITIAL DESIGN DATE:
 11/30/2020

CURRENT DATE:
 4/6/2021

SCALE:
 1/4" = 1' (OR AS NOTED)

DRAWING SHEET SIZE:
 ARCH D (24" x 36")

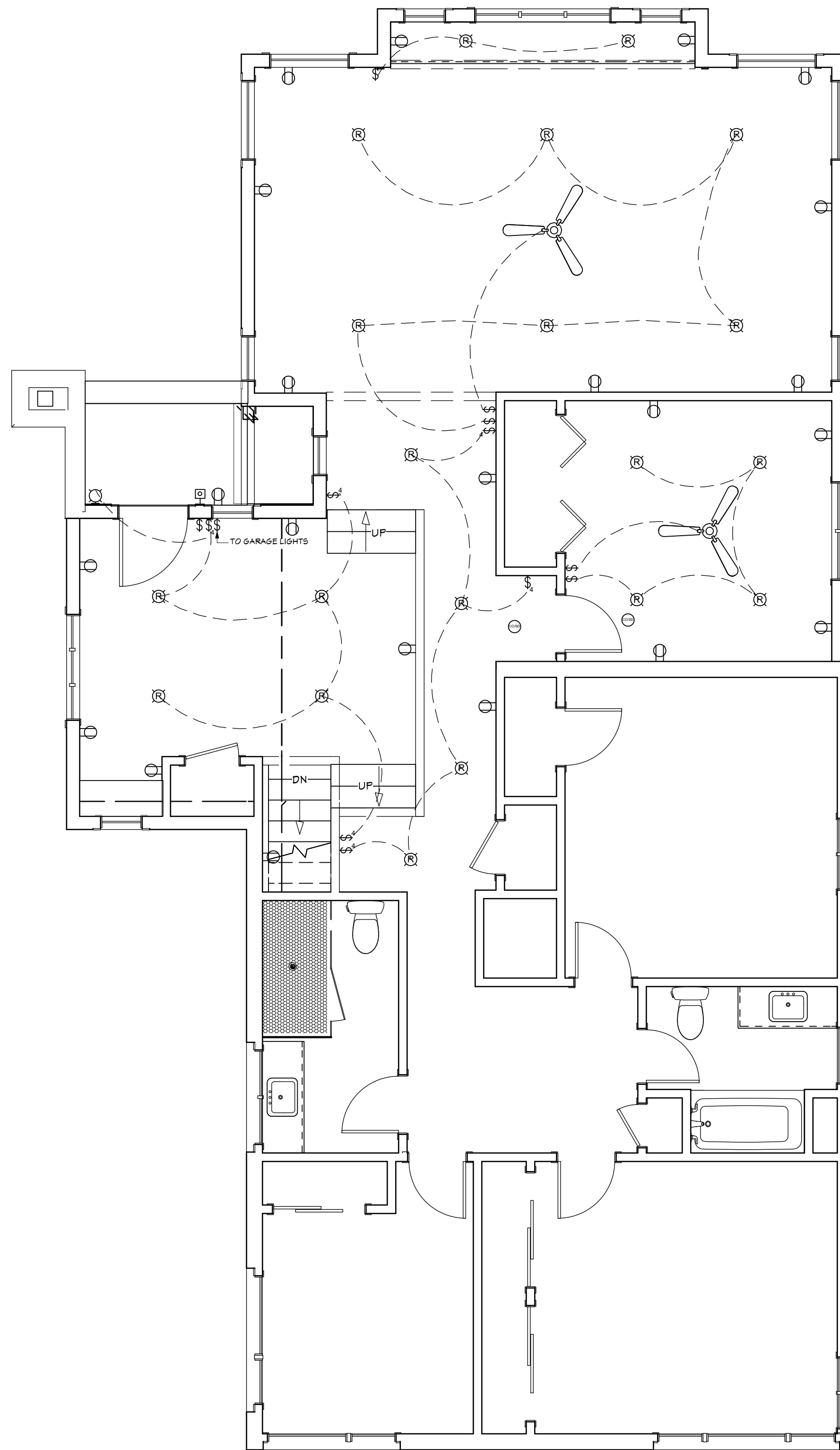
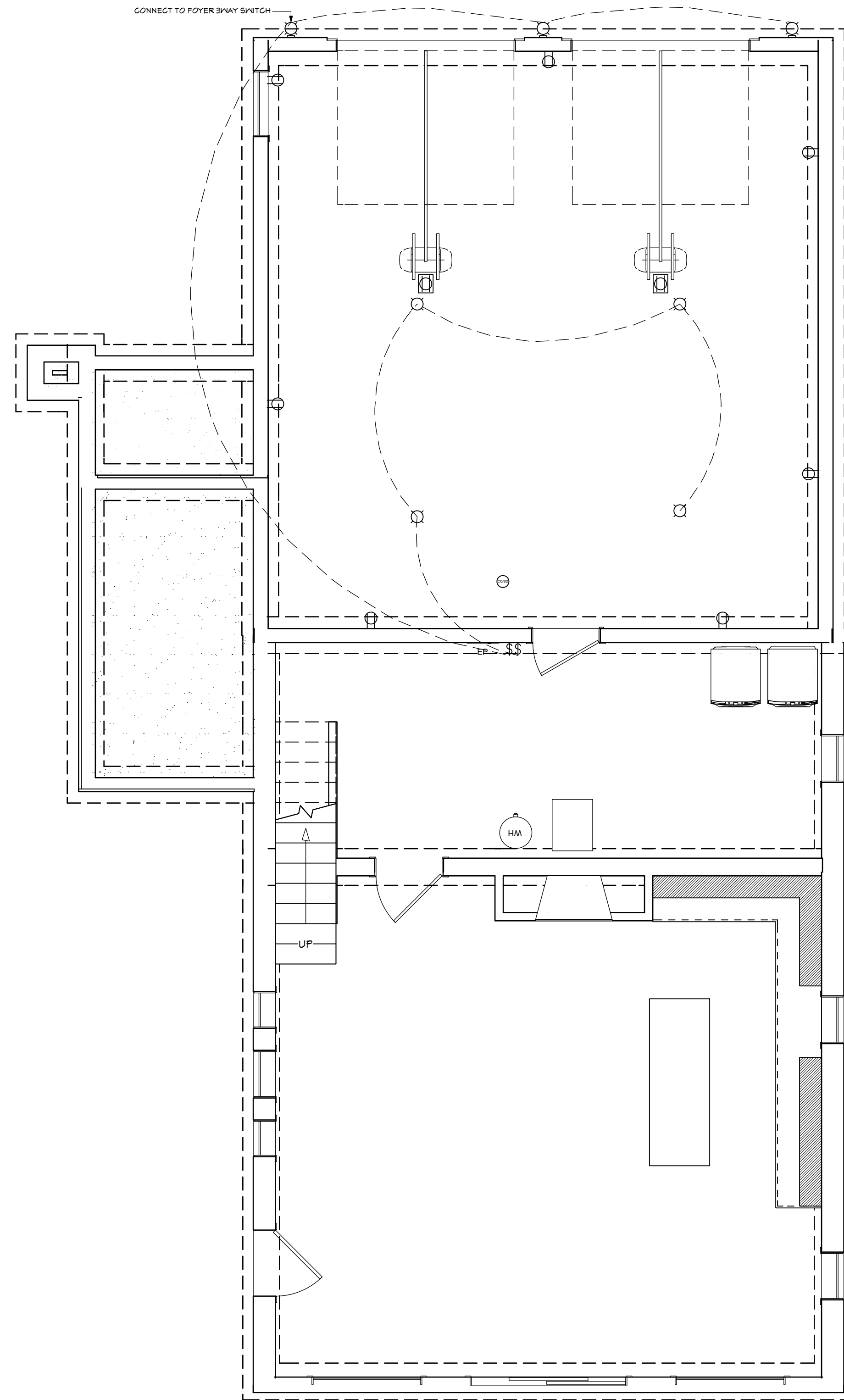
LIVING AREA SQ. FT.:

SHEET:

A3

ELECTRICAL LAYOUT PLAN

1/4" = 1'



ELECTRICAL DATA & AUDIO NOTES:
 HOME OWNER SHALL DO A WALK THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
 1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 2. PROVIDE ONE SMOKE DETECTOR/CARBON MONOXIDE SENSOR IN EACH BEDROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT CO-SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT CO-SMOKE DETECTORS SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:
 1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN. RUN CIRCUIT OR SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
 2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
 3. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA / CABLE PANELS SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:
 LOCATE SECURITY PANELS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY HOME OWNER.

ELECTRICAL - DATA - AUDIO LEGEND		
SYMBOL	DESCRIPTION	SPECIFICATIONS
	Ceiling Fan	
	Ventilation Fans: Ceiling Mounted, Wall Mounted	
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamps, Low Voltage	80" = Beem Glass Pendant/7" AFF HAP = Hi Bay Arylic/Pendant/2" AFF
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce	
	Chandelier Light Fixture	
	Fluorescent Light Fixture	24x48" Parabolic Fluorescent Fixture
	240V Receptacle	Located 12" AFF Except Where Noted
	110V Receptacles: Duplex, Weather Proof, GFCI	Located 12" AFF Except Where Noted
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way	
	Switches: Dimmer, Timer	
	Audio Video Control Panel, Switch	AV Control Panel @ 8" AFF in closet
	Speakers: Ceiling Mounted, Wall Mounted	SP located between 9" - 10" AFF
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable	Located 12" AFF Except Where Noted
	Telephone Jack	Located 12" AFF Except Where Noted
	Intercom	
	Thermostat	
	Door Chime, Door Bell Button	
	Smoke Detectors: Ceiling Mounted, Wall Mounted	
	Electrical Breaker Panel	

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REMODELING PROJECT FOR:
 CAMERON AND JESSICA SIGECAN
 143 WILDWOOD AVE
 BIRCHWOOD VILLAGE, MN 55110

CONTRACTOR OF RECORD:
 TBD

WOODLAND DESIGN LLC
 LAKE ELMO, MN
 Phone: 651/472-6022
 woodland@ustfamily.net



INITIAL DESIGN DATE:
 11/30/2020

CURRENT DATE:
 5/10/2021

SCALE:
 1/4" = 1' (OR AS NOTED)

DRAWING SHEET SIZE:
 ARCH D (24" x 36")

LIVING AREA SQ. FT.:

SHEET:

A6

SITE NARRATIVE

Cam Sigecan
 143 Dellwood Avenue
 Birchwood Village, MN

Watercourse Design was hired to prepare a landscape plan for Cam Sigecan at 143 Wildwood Avenue, Birchwood Village, MN. The Current slope is largely graded out, ramped to the lake and covered with tarps, landscape fabric and silt fence and straw logs. Watercourse Design has prepared a plan that we believe will best stabilize the lakeshore, stabilize the slopes to the lake and reduce erosion. We have also Included a Boulder retaining wall to Slow down water flow to the lake and prevent damage to a large oak tree located onsite.

The design for the landscape focuses on shoring up and stabilizing the area between the OHW elevation and the house.

Lakeside of the OHW elevation, we will have minimal Rip rap extending lakeward approximately 48", This Rip rap will be installed no steeper than 3:1 Slope and utilize boulders no larger than 24" dia. Typ.

Landward of the OHW elevation, we will be installing approximately 42" boulder rip rap at a 3:1 slope. The wall will Extend approximately 30" above the OHW elevation and be constructed with heavy duty filter fabric and 1.5" clear rock backing.

Above the angled rip rap / lakeshore, we have designed a fairly flat zone in which pedestrians can easily walk between the stairway and the future dock position. This flat area is roughly the same elevation as the two adjoining neighbors properties.

A boulder wall will retain the slope between the flat terraced area near the lake and the large oak tree upslope. The retaining wall is designed to be built between 2' and 4' high. This slight terracing will allow us to slow down water flow velocity down slope to the lake and will also allow us to only minimally disturb the large oak's root zone.

Bridging the house and the lower lakeshore, we have designed a 44" wide arcing stairway. The top of the stairway will tie directly into the existing concrete stairway already existing on site.

There will be a material staging area located in the front yard/driveway area. Materials will have to be unloaded here *and carted down slope to the lakeside for installation.*

Erosion control measures will be utilized in several areas on the site.

-Loose soils/ aggregates that are unloaded in the staging area of the front yard will be tarped and kept covered. Mulch log wattles will be placed along the junction of the road/driveway and Underwood property. This will prevent sediments from being washed onto the roadway.

-Silt fences and Mulch log wattles will be installed along the full lakeside limits of construction. More silt fences and wattles will be placed near the lake at the future stairway terminus. Silt Fences will be thoroughly dug into place with about the bottom 12" of fence buried in the soil. Mulch / straw log wattles will be placed at the base of the silt fence and in the upslope direction.

The erosion control will be very important to us. We know that this is an "extreme" site and that every measure possible must be taken to limit the effects of storms and runoff. What that means for us is:

-Have LOTS of extra erosion control materials on site. We always end up needing it.

-Time it right. Do not tear something apart that you cannot get back together before the next rain event.

As a rule, we like to attack this type of lakeside project with extra large crews. This allows a faster turn around time and less time being vulnerable. We hit it hard and get it done fast.

All Disturbed areas will be tarped prior to leaving the site at the end of the day.

We will be Cutting down the bank near the base of the slope in order to install rip rap at a 3:1 slope.

We Will not be filling any soils between the OHW elevation and the 100 year flood zone. The Estimated amount of cut that we will take from this zone is located on the Erosion control plan.. A Total Cut of approximately .72 CY. We estimate there will be a total fill of approximately .27 Cy. (Note: Due to previous construction activities along the shore, soil is currently piled higher on this site than on the two adjacent properties.)

Our proposed Landscape project will add very little impervious totals to the site. This plan proposes to add approximately 310 SF of impervious surface to the yard. This calculation includes the rip rap coverage to the OHW elevation. Rip rap existing above the OHW elevation was counted as 70% impervious.

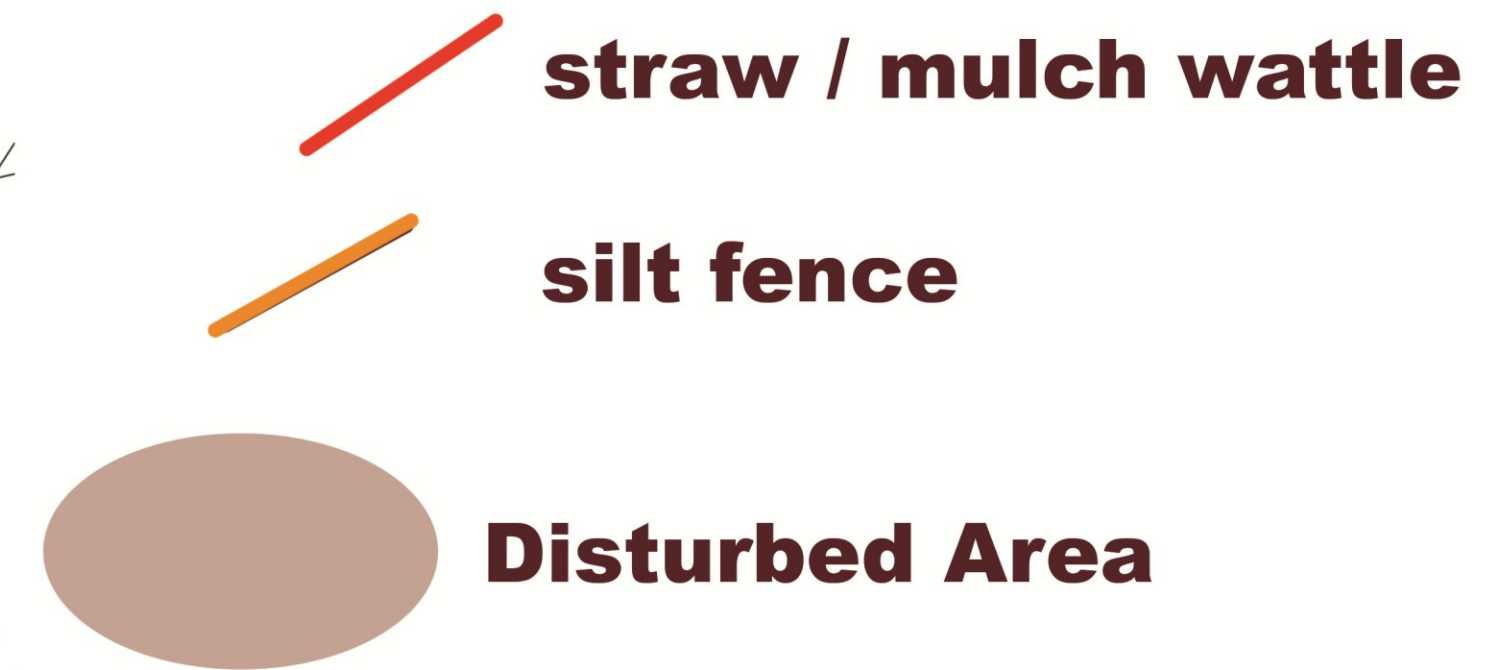
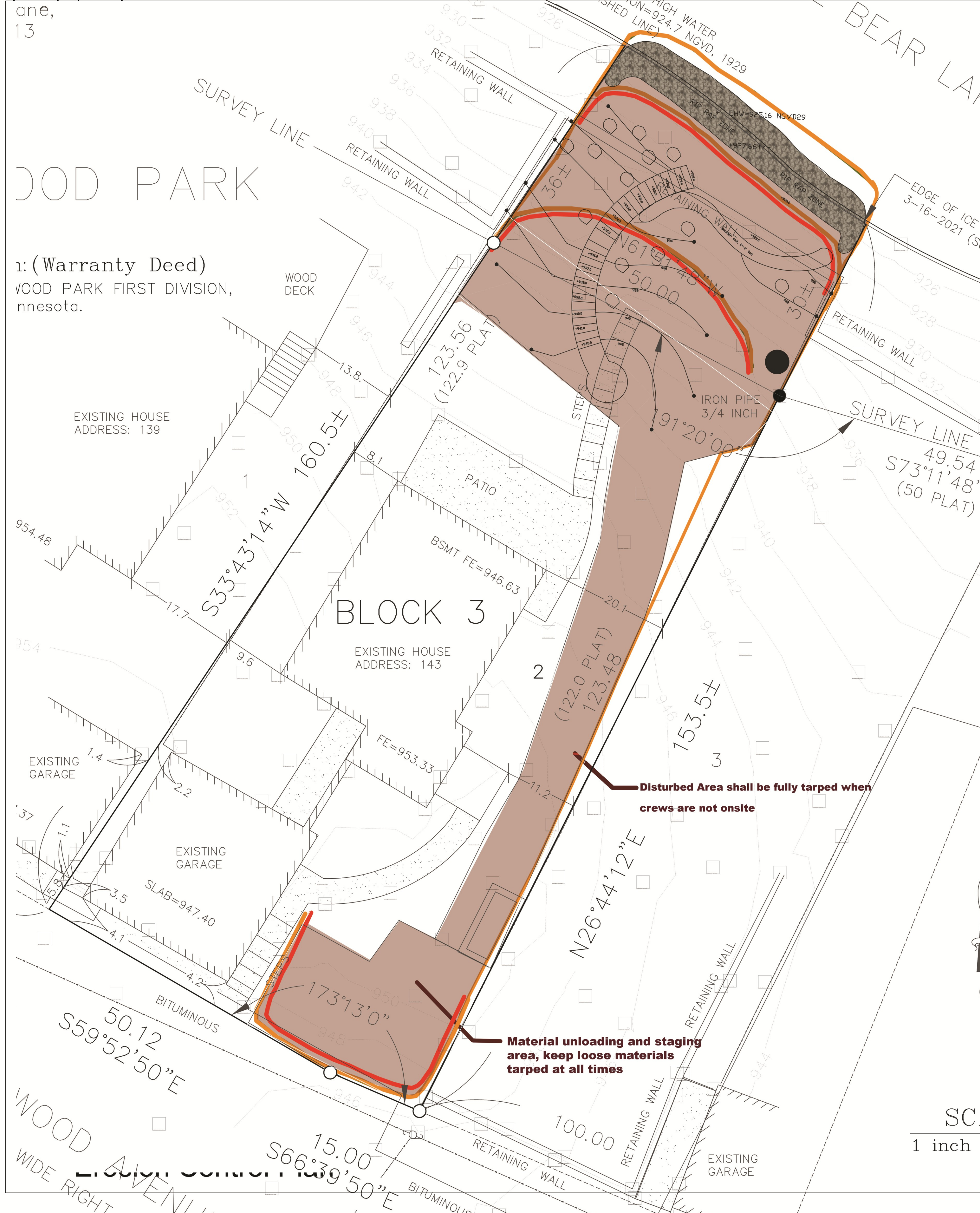
Current total Site Impervious surface totals are approximately 2,791 SF, including existing walks, driveway and house. Note: This calculation does not account for any impervious surface area that may be added by other contractors as part of the garage renovation that may happen in the future.

Total land disturbance on the site will be 3,779 SF. This total includes the project area as well as the staging area and delivery path.

one,
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DOD PARK

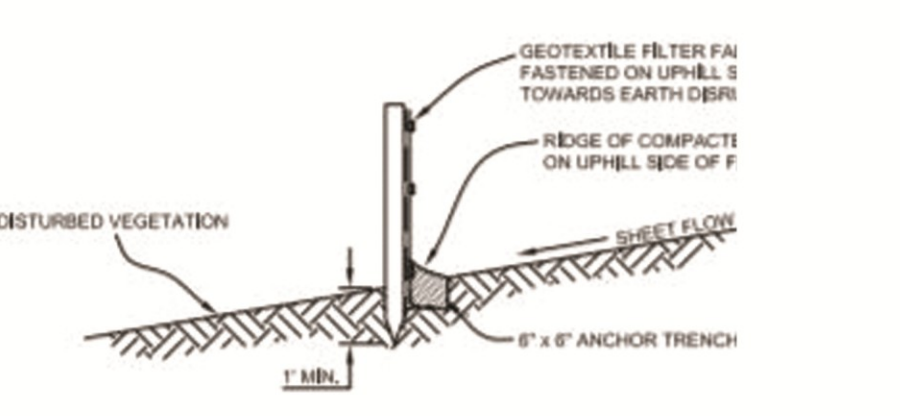
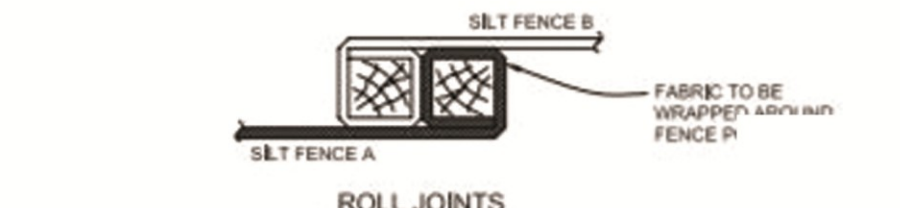
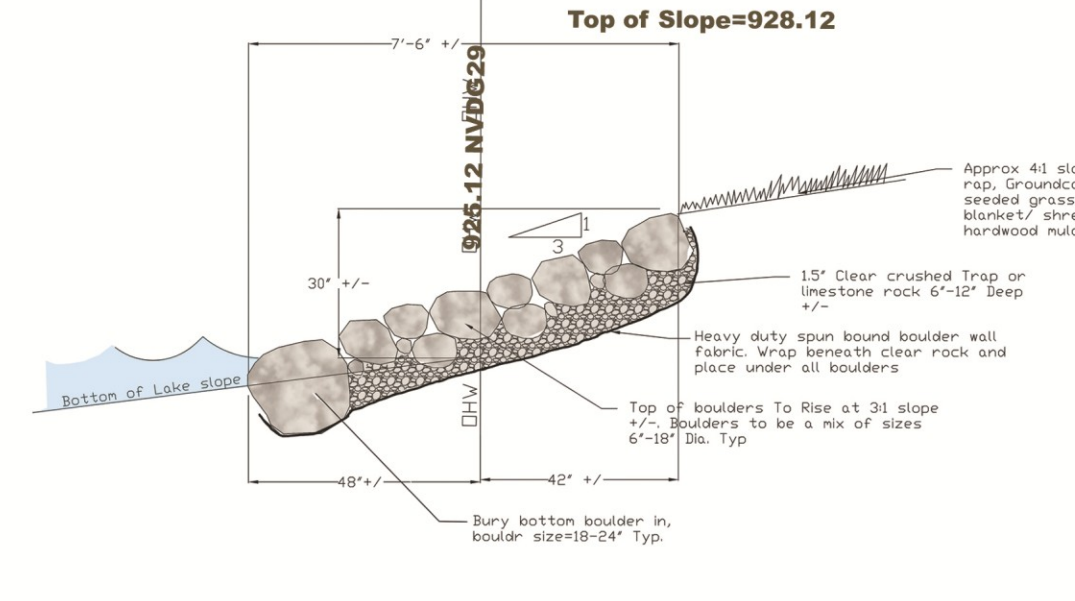
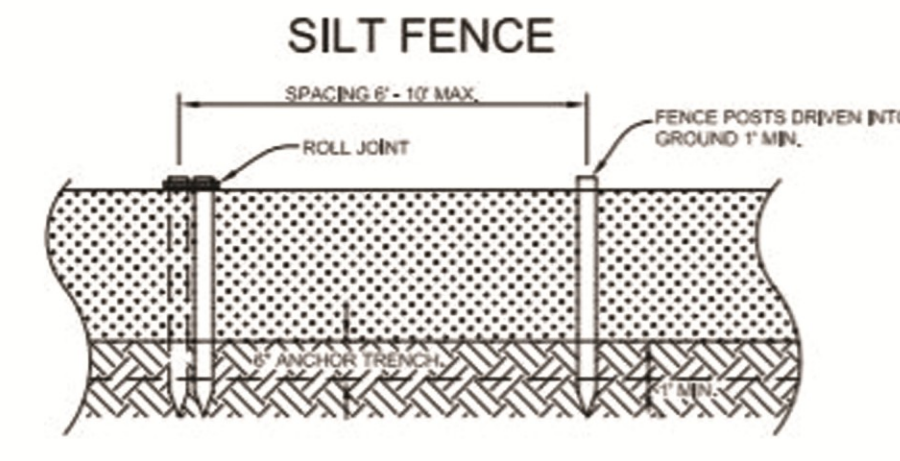
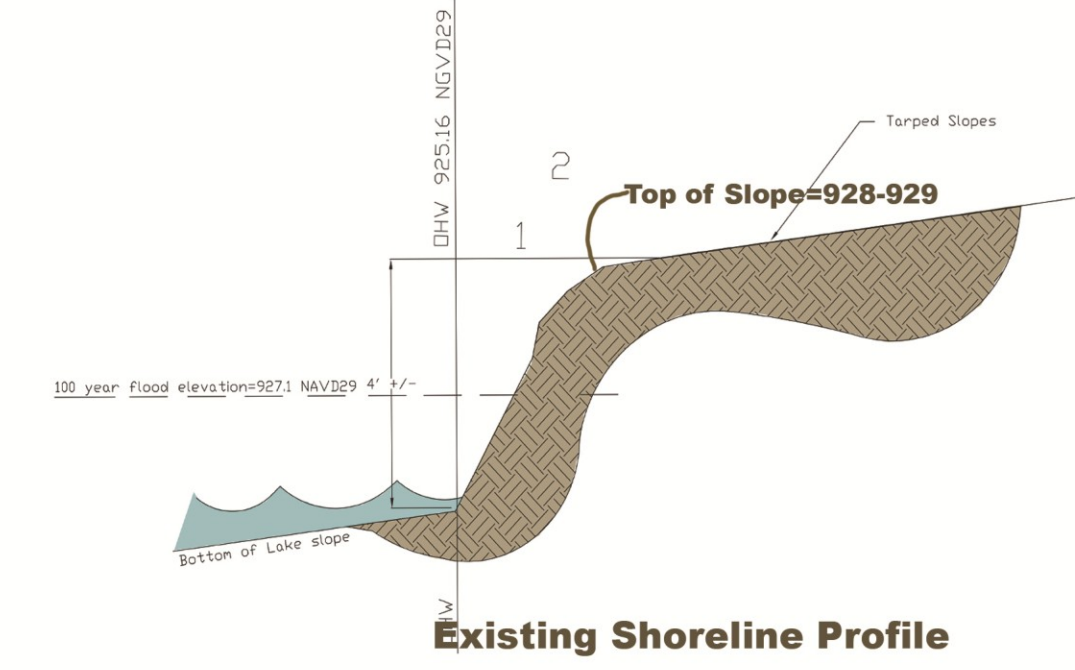
1: (Warranty Deed)
WOOD PARK FIRST DIVISION,
Minnesota.



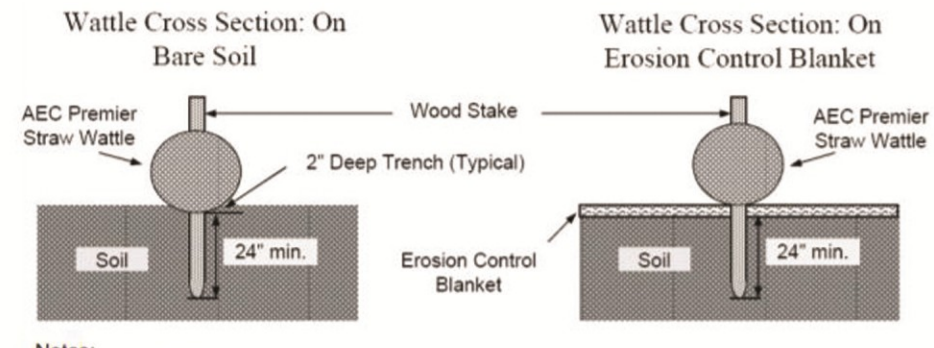
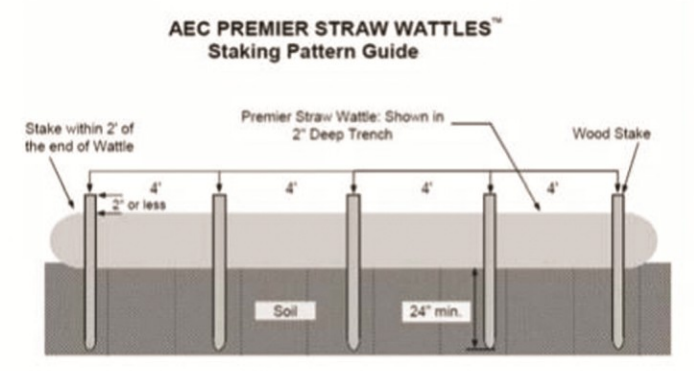
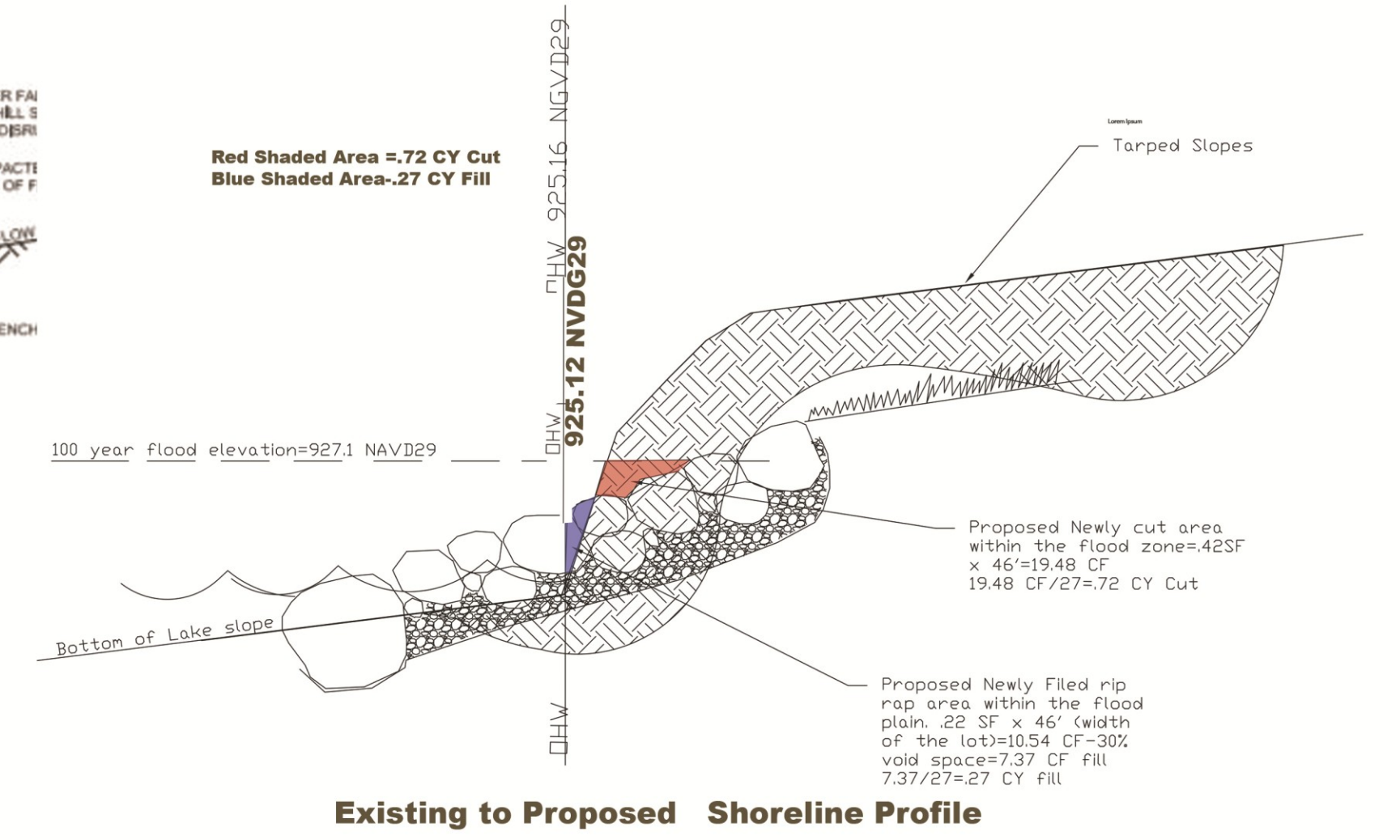
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE STATE OF MINNESOTA STATUTES SECTION 366.02 TO 366.16.

Ian Lamers
DATE: May 25, 2021
MN REG. NO. 45940

Designed	Ian Lamers
Drawn	Ian Lamers
Checked	Ian Lamers
Approved	Date _____ Title _____

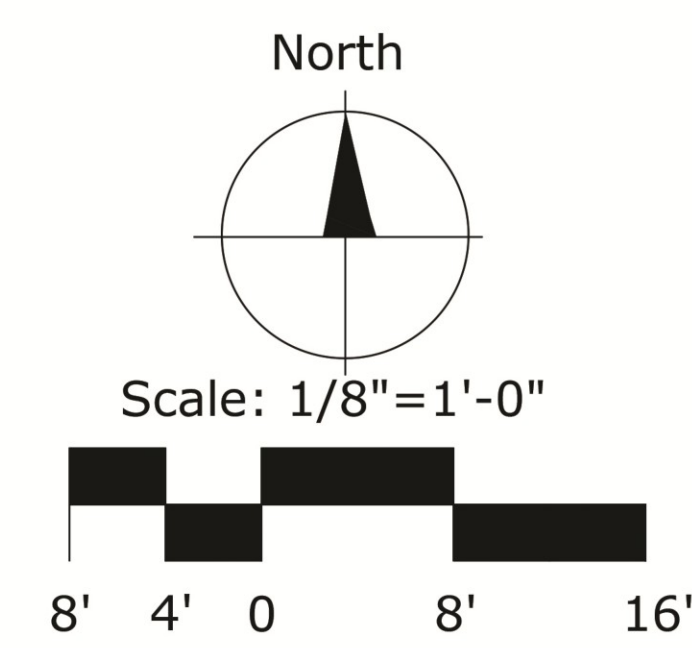


Red Shaded Area = 72 CY Cut
Blue Shaded Area = 27 CY Fill



NOTES:

- The vertical elevation datum used to complete the site survey, NGVD 29
- The RCWD regulatory floodplain elevation is 927.1 NGVD 29 and the OHW 925.16 NGVD 29
- Party responsible for maintaining erosion control: Ian Lamers, (watercourse Design) phone: 612-741-4289 Address: Watercourse Design, 2215 Benjamin Street NE, Minneapolis, MN 55418
- All Disturbed areas will be revegetated with Trees, Shrubs, Perennials and Sod. Areas with Trees, Shrubs or perennials will receive 2-3" shredded hardwood mulch for soil stabilization. There will be no Bare/uncovered ground upon completion of project.



Sigecan Residence
143 Wildwood Avenue, Birchwood Village, MN

Watercourse
design restore protect
Landscape Architecture and Design

REVISIONS	Approved
Description	EROSION CONTROL Plan
Date	08/21/21
File No.	
Drawing No.	EC
Sheet	1 of 1

Remodeling

PARK

City Deed)
FIRST DIVISION,



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE STATE OF MINNESOTA STATUTES SECTION 362.02 TO 362.16.

ian Lamers
 DATE: May 25, 2021
 MN REG. NO. 45940

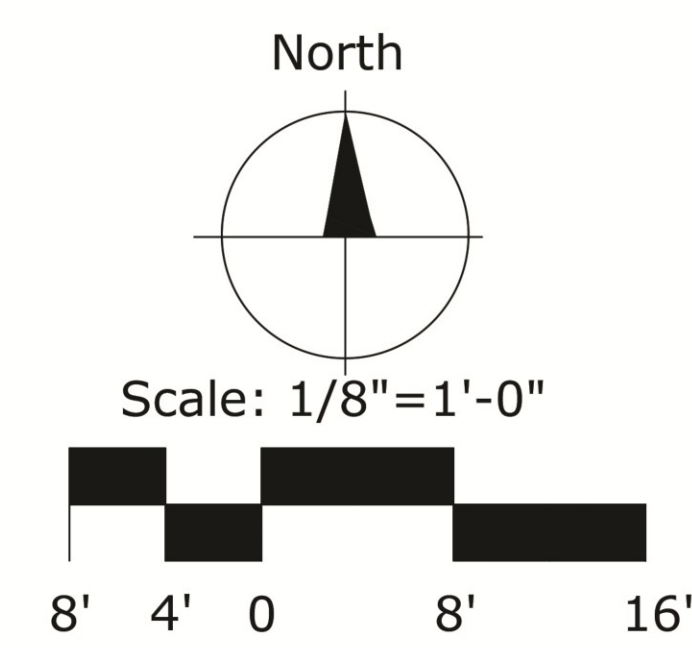
Designed	ian Lamers
Drawn	ian Lamers
Checked	ian Lamers
Approved	Date _____ Title _____

Sigecan Residence
 143 Wildwood Avenue, Birchwood Village, MN

Watercourse
 design restore protect
 Landscape Architecture and Design

REVISIONS	Description	Approved
	Landscape site Plan	
Date	05/21/21	
File No.		
Drawing No.	S8Site Plan	
Sheet	1 of 1	

NOTES:
 1. The vertical elevation datum used to complete the site survey, NGVD29.
 2. The RCWD regulatory floodplain elevation is 927.1 NGVD29 and the OHW 925.16 NGVD29, These elevation lines are denoted in Green and aqua blue



Landscape Site Plan

RICE CREEK WATERSHED DISTRICT

4325 Pheasant Ridge Drive, Suite 611
 Blaine, MN 55449
 Phone: (763) 398-3070 / Fax: (763) 398-3088
<http://www.ricecreek.org>

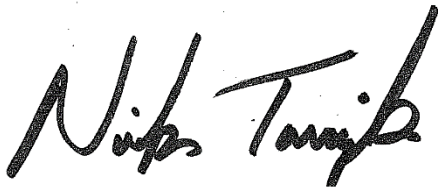
PERMIT 21-046

Expires on 12/16/2022

Pursuant to the Rules and Regulations of the Rice Creek Watershed District and the District policies and standards, and based upon the statements and information contained in the permit application, letters, maps, and plans submitted by the applicant and other supporting data, all of which are made a part hereof by reference, permission is hereby granted to the permittee named below to conduct the activity described below. **If an extension to the permit is needed, the permittee should submit a written request to the District at least 2 weeks prior to the expiration date.**

Name of Project Sigecan			
<i>Project Description</i> Shoreline landscape project.			
<i>Property Location</i> 143 Wildwood Ave		<i>County</i> Washington	<i>Municipality</i> Birchwood Village
Permittee Name Cameron Sigecan		<i>Permittee Contact</i>	
<i>Permittee Address (No. & Street, City, State, Zip code)</i> 143 Wildwood Ave, Birchwood Village, MN 55110			
<i>Permittee Phone #'s</i> 651-324-3791	<i>Permittee Fax</i>	<i>Permittee Cell Phone</i>	<i>Permittee e-mail</i> cameron.sigecan@yahoo.com
Overall Surety Paid N/A	<i>Surety Paid in Cash / LOC</i> /	<i>Cash Paid By</i>	<i>Letter of Credit Expiration</i>
In accordance with the attached plan received at the District on (date received): 6/16/2021			

Authorized Signature:



Nick Tomczik, Administrator
 Date of Issuance: 06/16/2021

SPECIAL STIPULATIONS

1. None.

EROSION AND SEDIMENT CONTROL STIPULATIONS

1. Erosion control measures shall be in place prior to grading activities and maintained through project completion. These features can include sediment logs, erosion blankets, sod, riprap, silt fence and temporary or permanent vegetation.
2. The District Inspector may require additional erosion control features, dependent upon site condition.
3. Refer to the MPCA "Protecting Water Quality in Urban Areas" manual at <http://www.pca.state.mn.us/water/pubs/sw-bmpmanual.html> for BMPs.
4. Please contact the District Inspector at 763-398-3070 if you have questions or to discuss site stabilization practices.

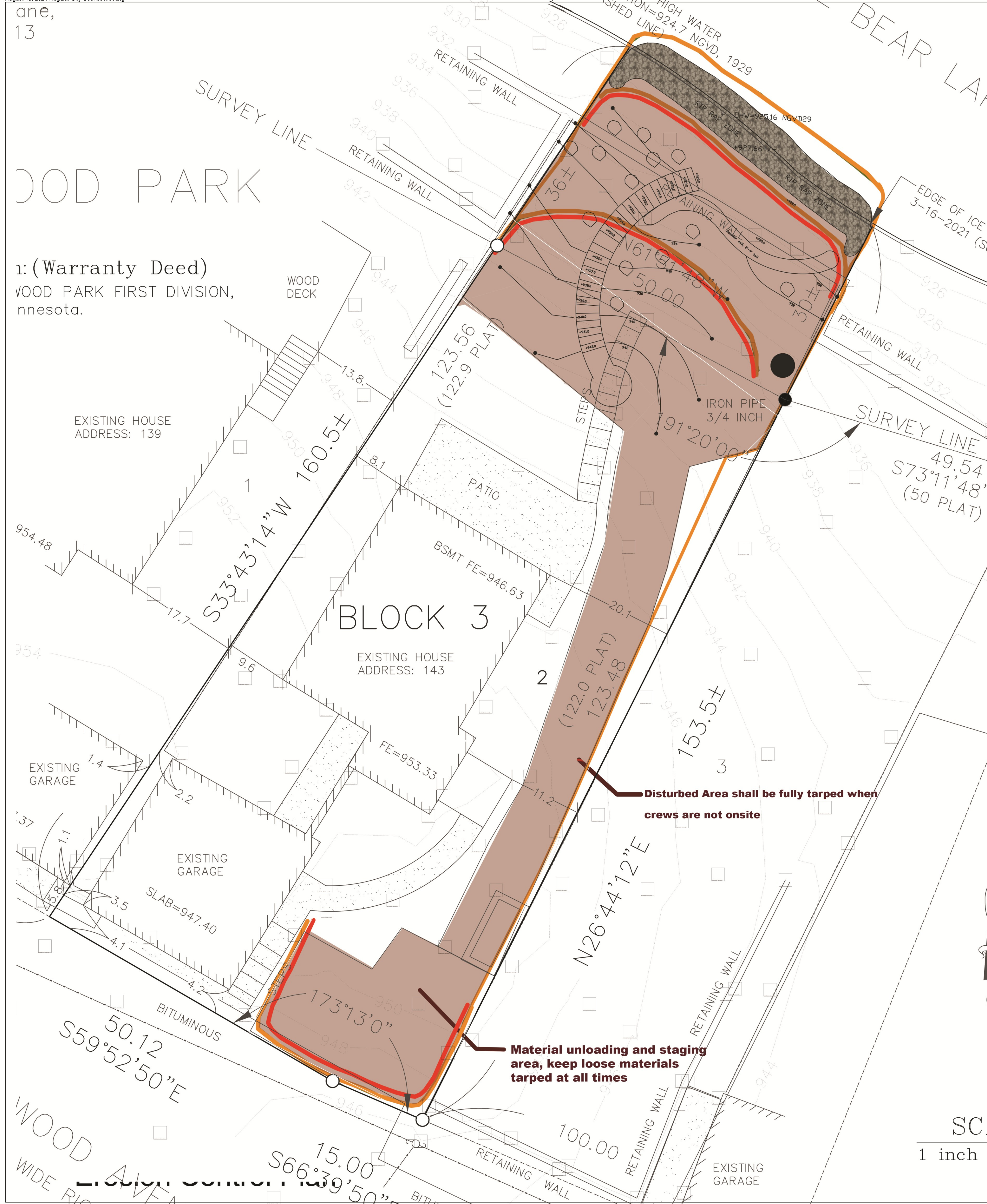
GENERAL PROVISIONS

1. The project shall be in accordance with the plans most recently submitted and approved by the District as part of the record of this project.
2. This permit is not assignable by the Permittee, except with the written consent of the RCWD.
3. The Permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the RCWD for inspection of the work authorized hereunder.
4. In all cases where the Permittee, by performing the work authorized by this permit, shall involve the taking, using, or damaging of any property rights or interests of any other person or persons, or of any publicly owned lands or improvements thereon or interests therein, the Permittee, before proceeding, shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all property, rights and interests needed for the work.
5. This permit is permissive only. No liability shall be imposed on the RCWD or any of its officers, agents, or employees, officially or personally, on account of the granting hereof or on account of any damage to any person or property resulting from any act or omission of the Permittee or any of its agents, employees, or contractors. This permit shall not be construed as estopping or limiting any legal claims or right of action of any person against the Permittee, its agents, employees or contractors, for any damage or injury resulting from any such act or omission, or as estopping or limiting any legal claim or right of action of the RCWD against the Permittee, its agents, employees, or contractors for violation of or failure to comply with the permit or applicable provisions of law. If during the work conditions are encountered indicating that soil or groundwater contaminants may be present, work must cease until the RCWD has been informed. The RCWD may require additional information and may require that the stormwater management plan be amended in order to properly manage site stormwater in the presence of contaminants.
6. Any stormwater management facilities approved as part of this permit shall be properly maintained in perpetuity to assure that they continue to function as originally designed.
7. After vegetation is in place and erosion control features have been removed, notify the District Inspector at 763-398-3070. Once the Inspector verifies that site conditions comply with all permit requirements, your cash surety will be returned to the remitter.
8. **FAILURE TO COMPLY WITH THE PROVISIONS OF THIS PERMIT IS A VIOLATION OF THE LAW AND MAY RESULT IN FORFEITURE OF PERMITTEE'S SURETY AND/OR THE PERMITTEE BEING CHARGED WITH A MISDEMEANOR.**

one,
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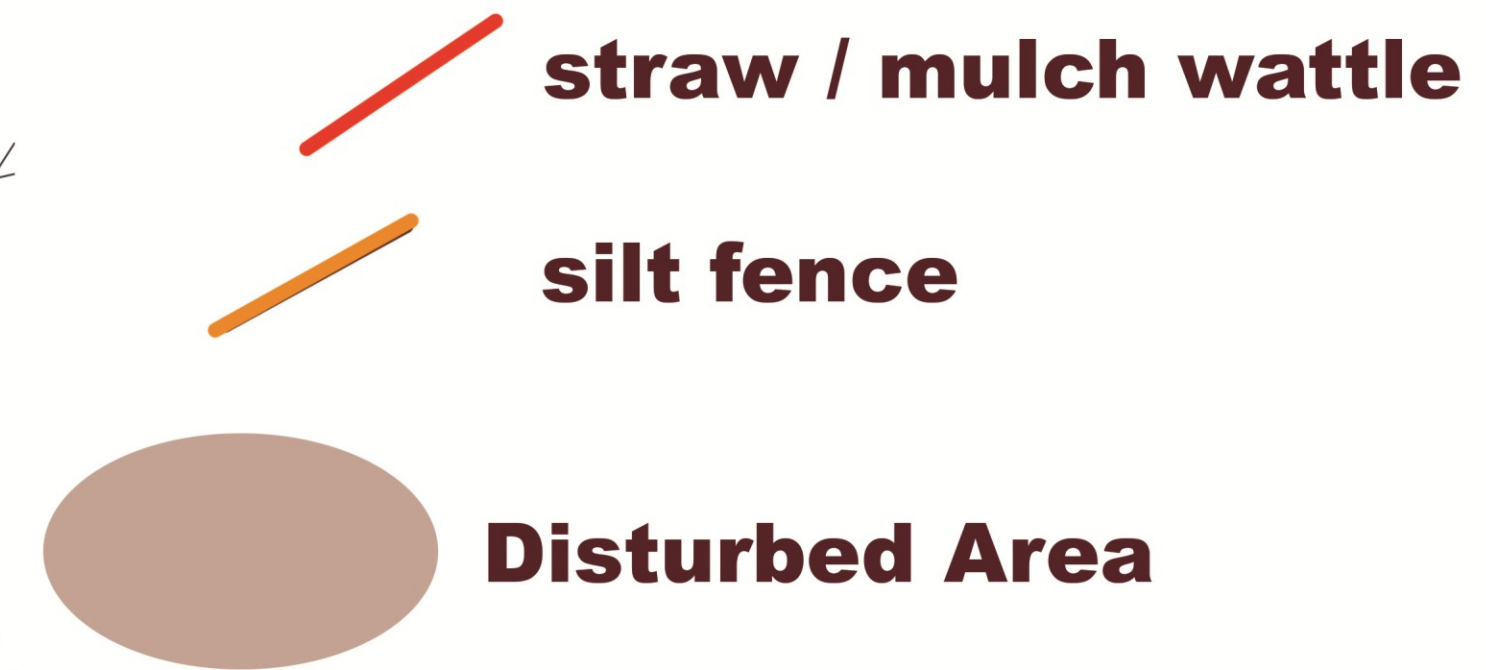
DOD PARK

1: (Warranty Deed)
WOOD PARK FIRST DIVISION,
Minnesota.



Disturbed Area shall be fully tarped when crews are not onsite

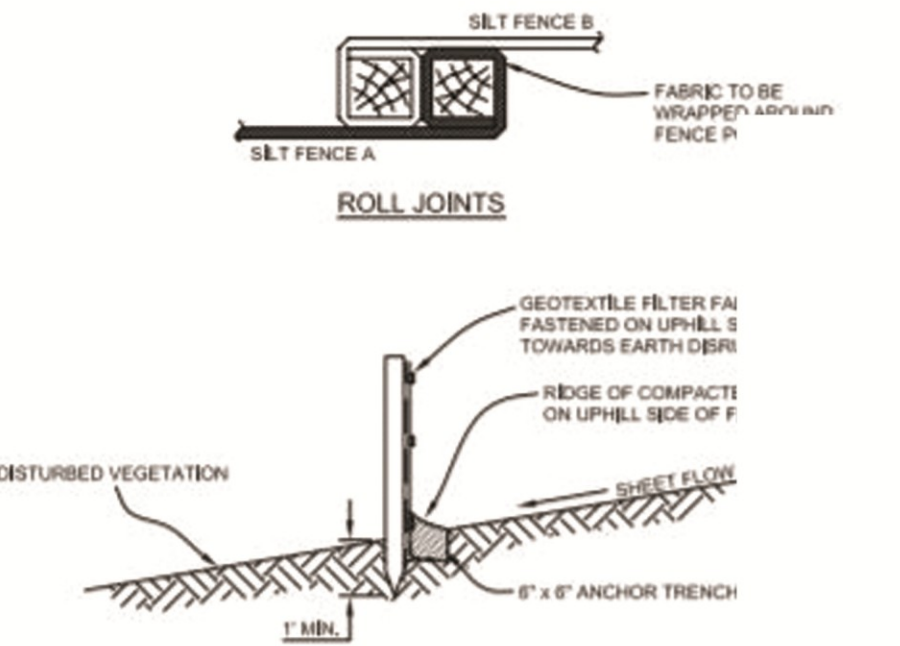
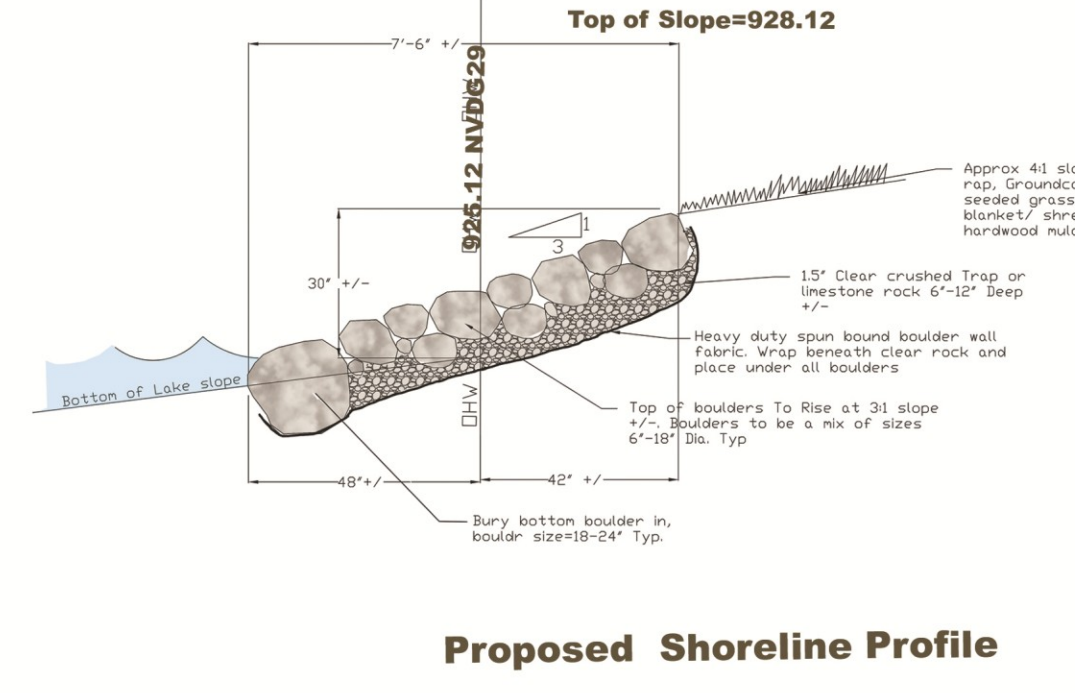
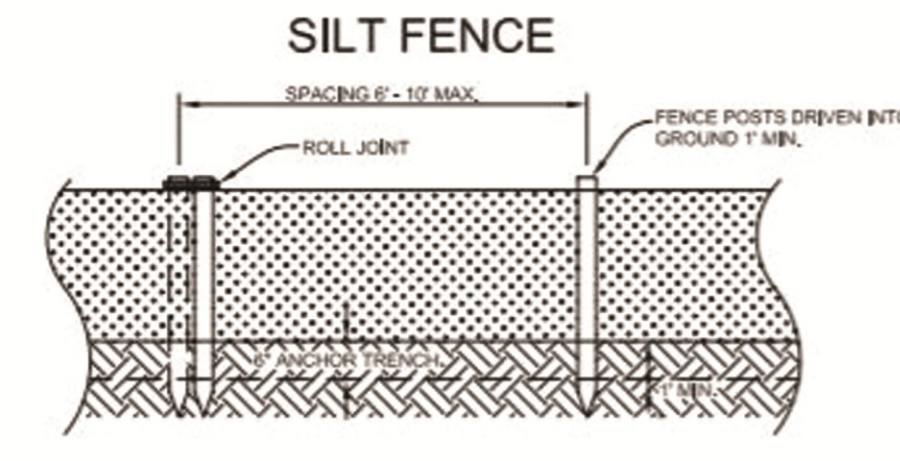
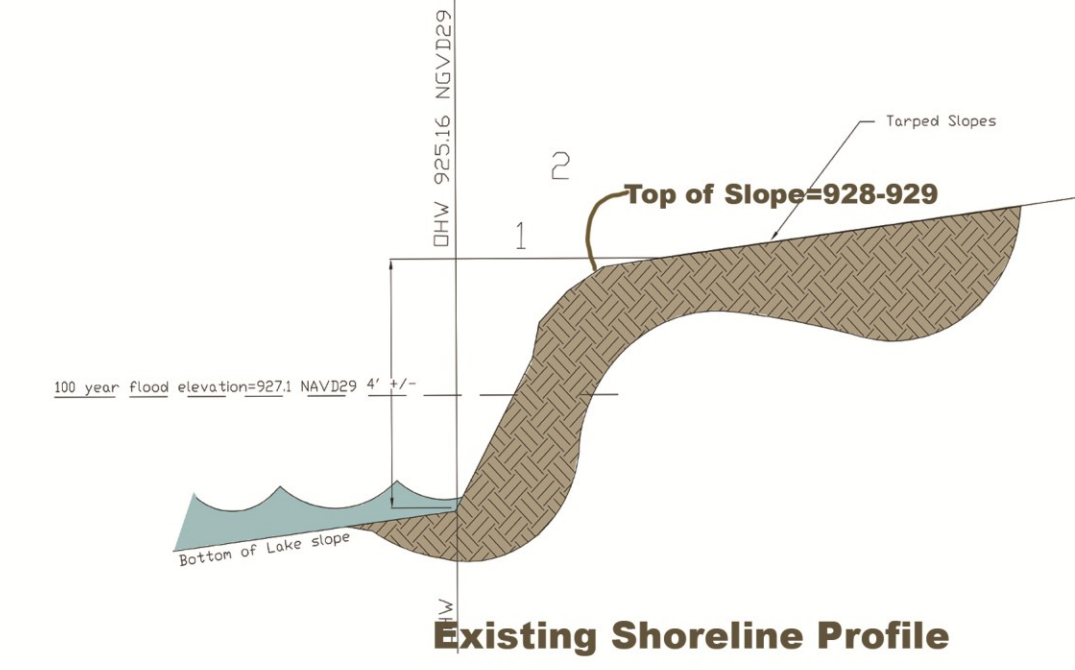
Material unloading and staging area, keep loose materials tarped at all times



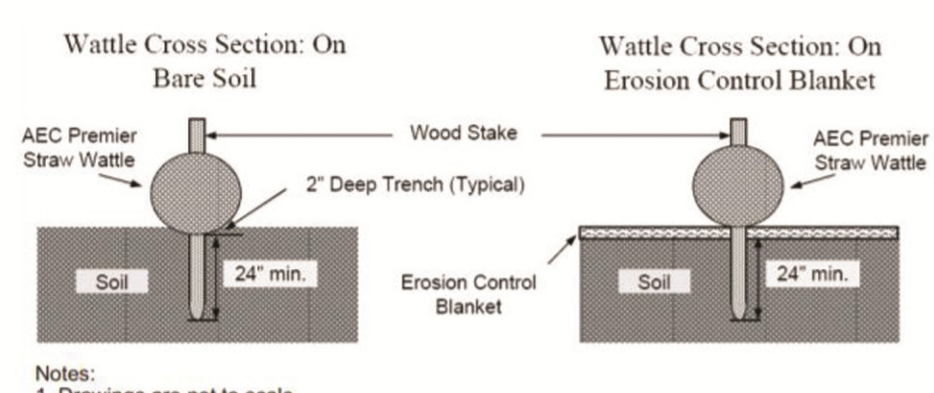
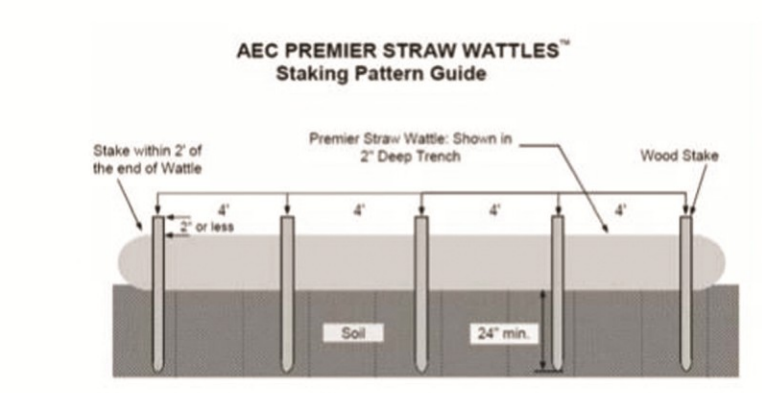
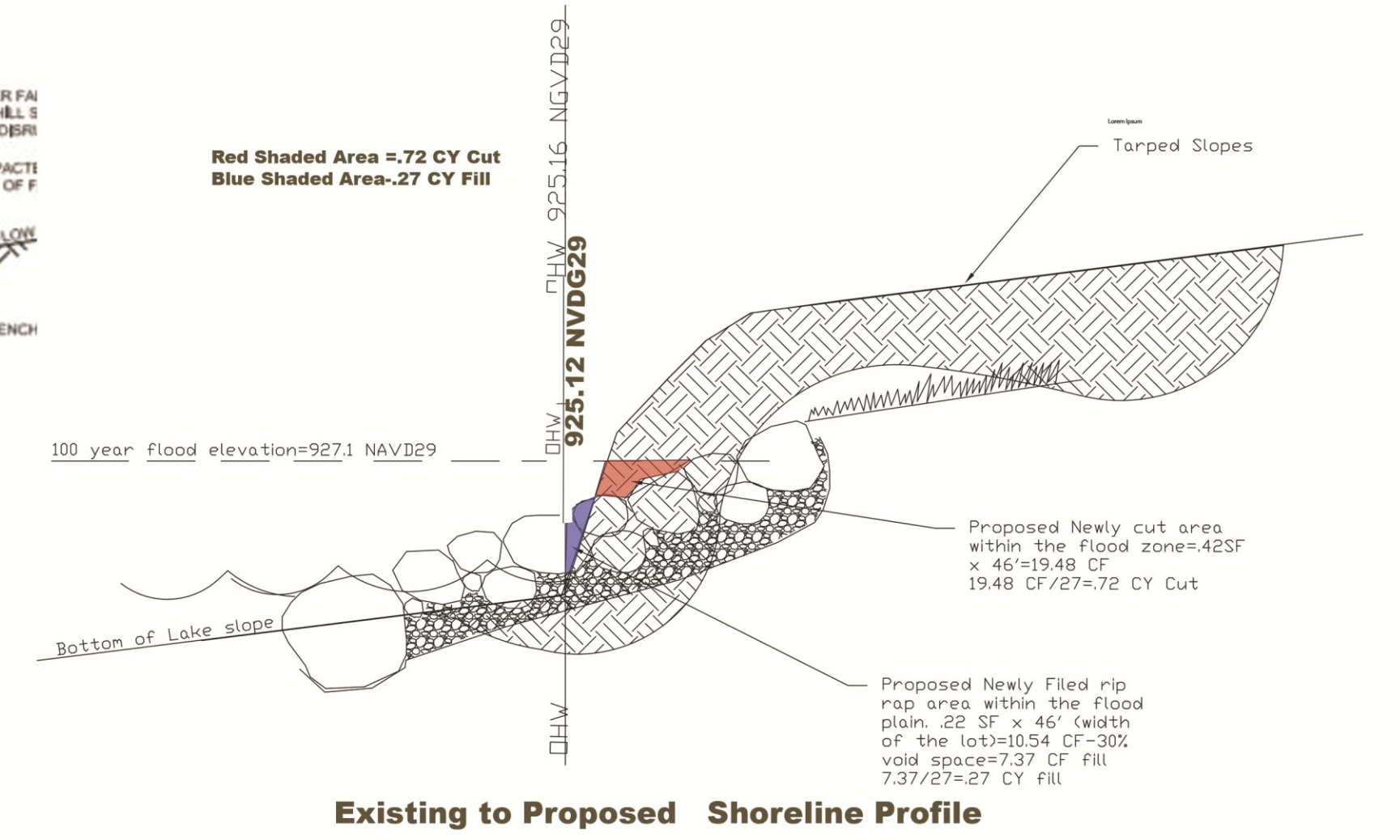
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ian Lamers
DATE: May 25, 2021
MN REG. NO. 45940

Designed	ian Lamers
Drawn	ian Lamers
Checked	ian Lamers
Approved	_____
Date	_____
Job	Class J.C



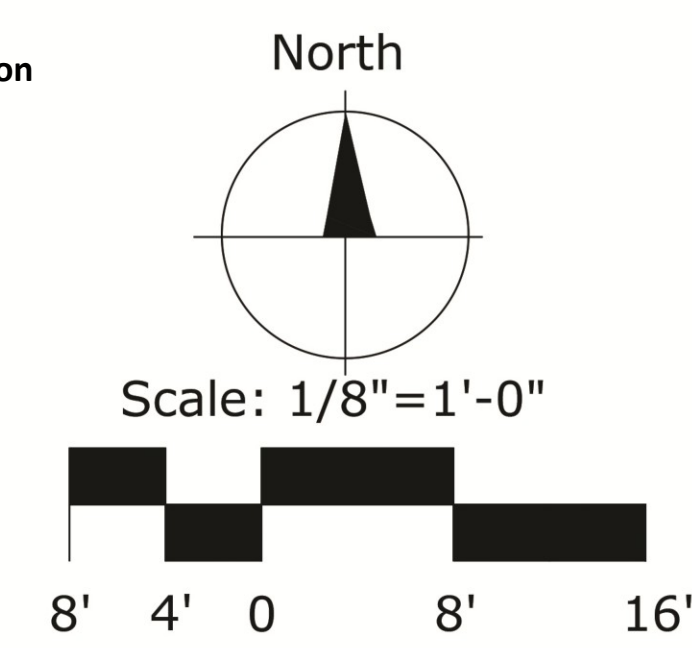
Red Shaded Area =.72 CY Cut
Blue Shaded Area=.27 CY Fill



NOTES:

- The vertical elevation datum used to complete the site survey, NGVD 29
- The RCWD regulatory floodplain elevation is 927.1 NGVD 29 and the OHW 925.16 NGVD 29
- Party responsible for maintaining erosion control:
ian Lamers, (watercourse Design) phone: 612-741-4289
Address: Watercourse Design, 2215 Benjamin Street NE, Minneapolis, MN 55418
- All Disturbed areas will be revegetated with Trees, Shrubs, Perennials and Sod. Areas with Trees, Shrubs or perennials will receive 2-3" shredded hardwood mulch for soil stabilization. There will be no Bare/uncovered ground upon completion of project.

Watercourse Design Will be responsible for Erosion Control on the site.
2215 Benjamin Street NE,
Minneapolis, MN
612-741-4289



Sigecan Residence
143 Wildwood Avenue, Birchwood Village, MN

Watercourse
design restore protect
Landscape Architecture and Design

REVISIONS	Approved
Description	EROSION CONTROL Plan
Date	08/21/21
File No.	
Drawing No.	EC
Sheet	1 of 1

CERTIFICATE OF SURVEY

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

Phone: 651-776-6211

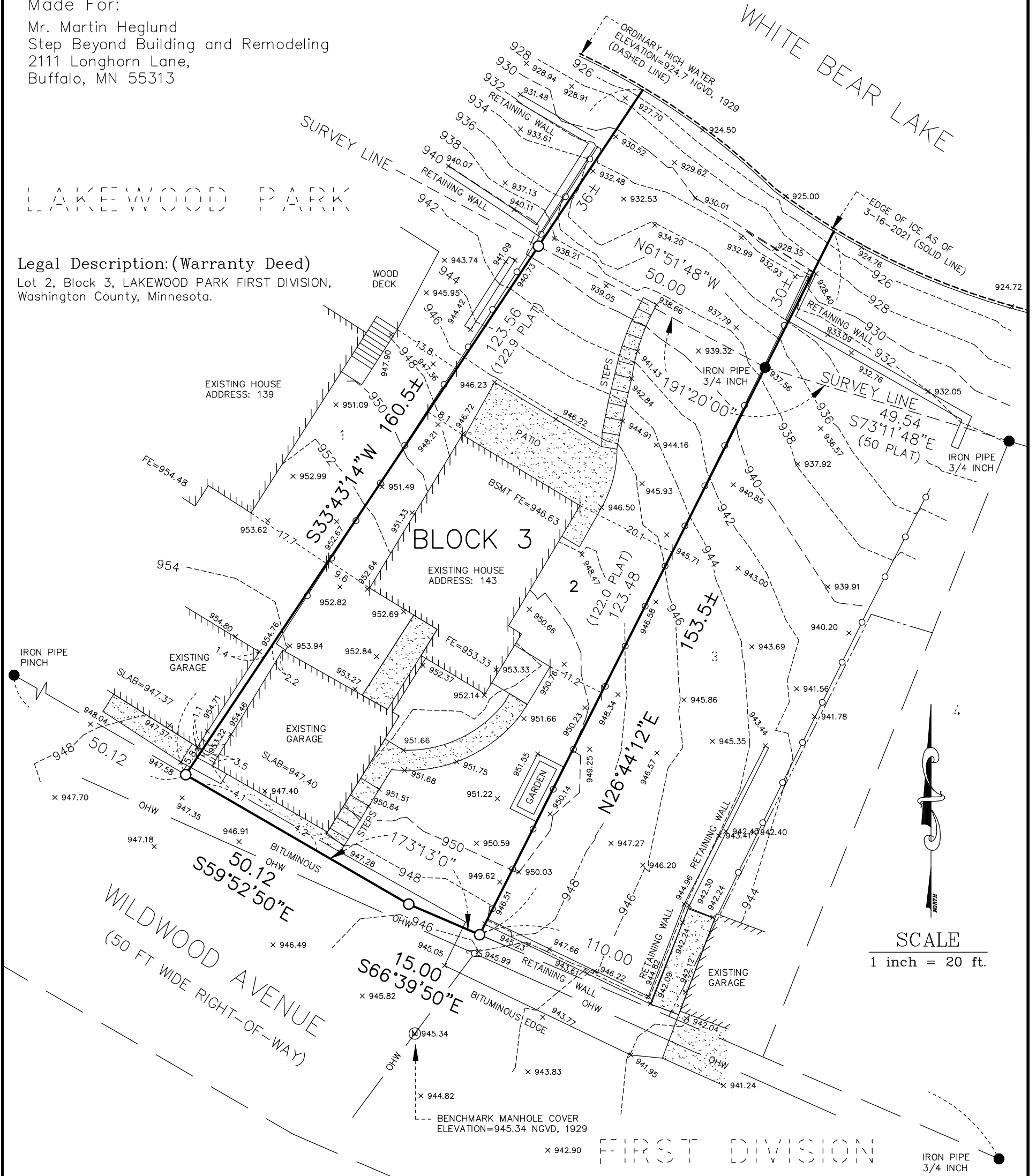
Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

LAKEWOOD PARK

Legal Description: (Warranty Deed)

Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.



NOTES:

- DENOTES 12 INCH COMMON SPIKE SET WITH WASHER STAMPED RLS 16464 OR AS NOTED.
- DENOTES IRON MONUMENT FOUND SIZE, TYPE, & R.L.S. AS NOTED.
- x xxx.xx DENOTES EXISTING SPOT ELEVATION
- XXX-- DENOTES EXISTING GRADE CONTOUR
- DENOTES CHAIN-LINK FENCE
- ⊠ DENOTES GAS METER
- ⊡ DENOTES ELECTRIC METER
- ⊚ DENOTES UTILITY POLE
- OHW— DENOTES OVERHEAD UTILITY WIRES
- ⊗ DENOTES WATER VALVE
- ▨ DENOTES CONCRETE SURFACE

AREAS

EXISTING HOUSE: 1047 SQ. FT.
REAR STEPS, PATIO: 477 SQ. FT.
FRONT STEPS AND CONCRETE SURFACES: 438 SQ. FT.
EXISTING GARAGE: 685 SQ. FT.
TOTAL IMPERVIOUS SURFACE: 1047+477+438+685= 2647 SQ. FT.
TOTAL LOT AREA TO ORDINARY HIGH WATER ELEVATION: 8726 SQ. FT. OR 0.20 ACRES
TOTAL PERCENTAGE IMPERVIOUS SURFACE: 2647/8726 = 0.30 x 100 = 30%

BASIS OF BEARINGS: WASHINGTON COUNTY COORDINATES NAD 83 (1986)
SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jonathan L. Faraci

Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464

Rev. June 16, 2021
Rev. May 12, 2021
Rev. March 19, 2021
March 12, 2021

EROSION CONTROL PLAN

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

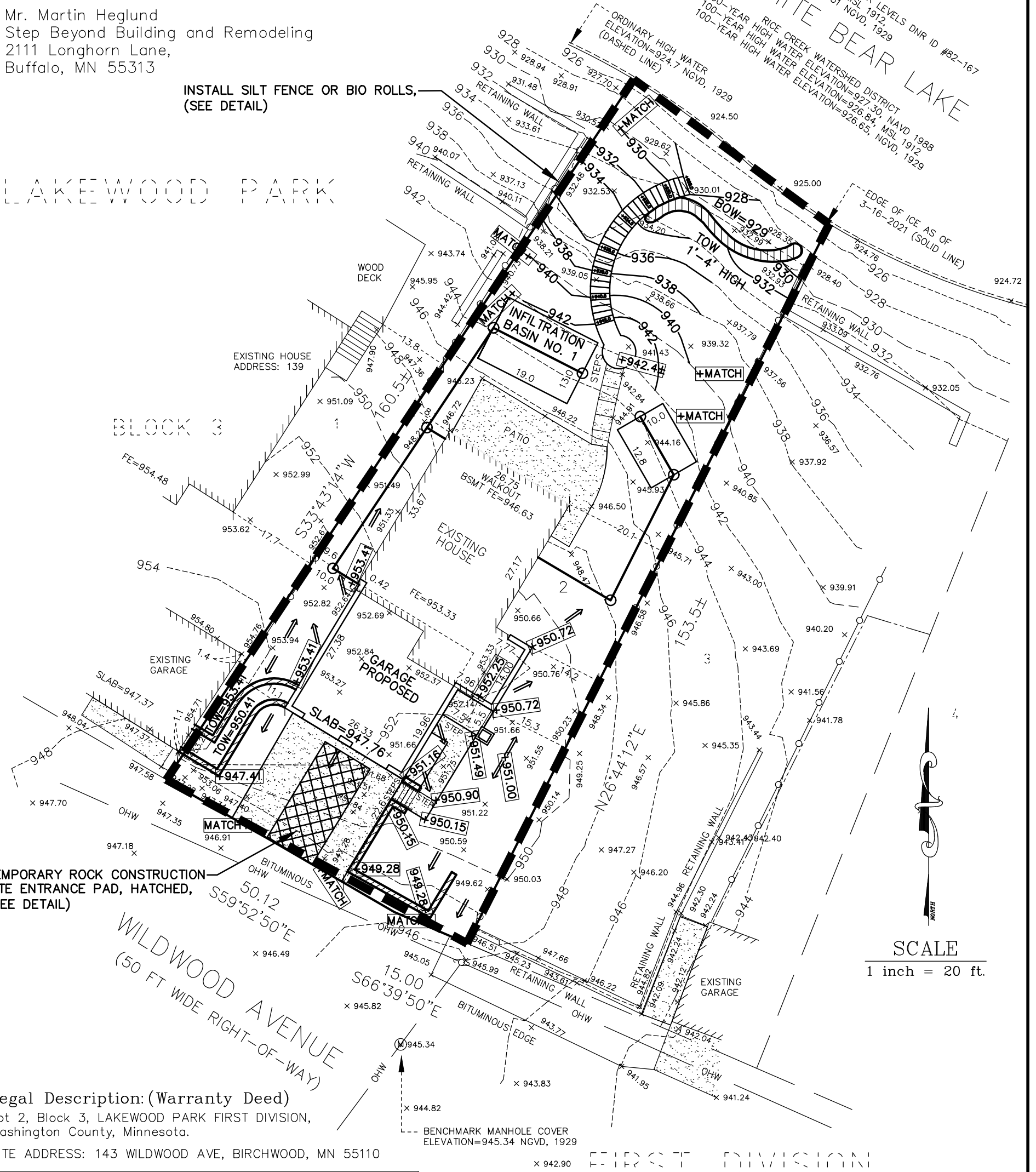
Phone: 651-776-6211

Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

INSTALL SILT FENCE OR BIO ROLLS,
(SEE DETAIL)

LAKEWOOD PARK



HIGHEST KNOWN WATER LEVELS DNR ID #82-167
ELEVATION=926.7 MSL, 1912
ELEVATION=926.51 NGVD, 1929
RICE CREEK WATERSHED DISTRICT
100-YEAR HIGH WATER ELEVATION=927.30, NAVD, 1988
100-YEAR HIGH WATER ELEVATION=926.84, MSL, 1912
100-YEAR HIGH WATER ELEVATION=926.65, NGVD, 1929



SCALE
1 inch = 20 ft.

TEMPORARY ROCK CONSTRUCTION
SITE ENTRANCE PAD, HATCHED,
(SEE DETAIL)

Legal Description: (Warranty Deed)
Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.
SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

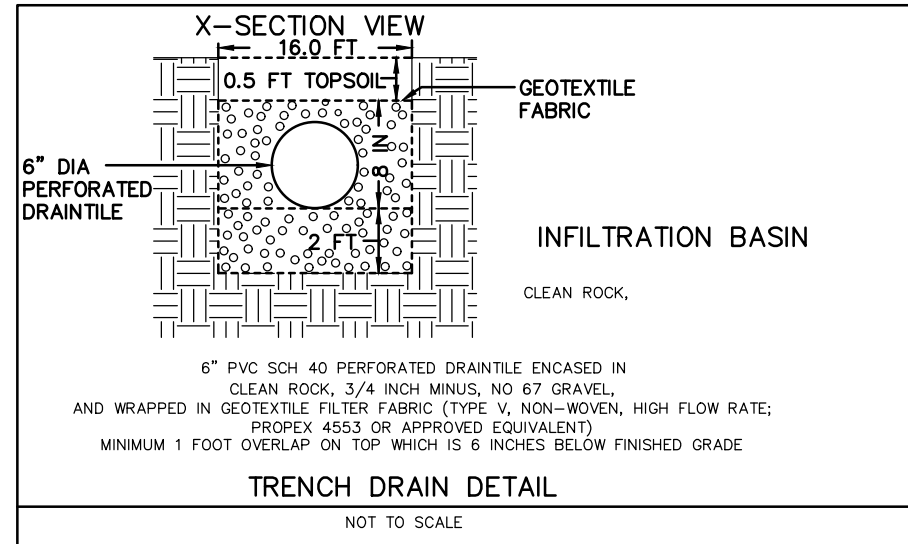
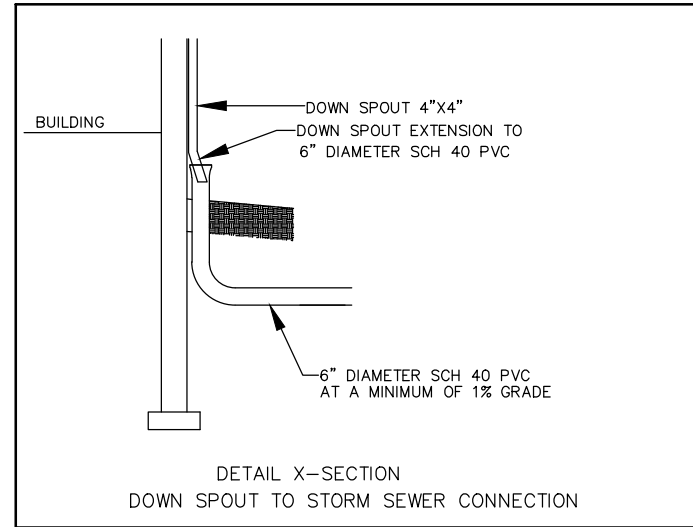
LEGEND

- x xxx.xx Denotes Existing Spot Elevation
- xxx-- Denotes Existing Contour
- +xxx.xx Denotes Proposed Spot Elevation
- xxx--- Denotes Proposed Contours
- ← Denotes Proposed Drainage Direction
- ss— Denotes Underground Sanitary Sewer
- w— Denotes Underground Water Service
- g— Denotes Underground Gas Line
- OHW— Denotes Overhead Utility wires
- o - Denotes Chain-link Fence
- ⊠ Denotes Gas Meter
- ⊞ Denotes Electric Meter
- ⊕ Denotes Utility Pole
- ⊗ Denotes Water Valve
- ▬ Denotes Proposed Silt Fence or Bio Rolls
- ▨ Denotes Concrete Surface

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Jonathan L. Faraci
Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464
June 16, 2021
May 12, 2021

DETAILS



PROPOSED STORM WATER INFILTRATION

TOTAL PROPOSED IMPERVIOUS AREA = 3209 SQ. FT.
 INFILTRATE 1.1 INCH OF STORM WATER IN 48 HOURS
 TOTAL INFILTRATION REQUIRED = 1.1 IN X 3209 SQ. FT. X (1FT/12IN) = 294 CU. FT.
 NO 67 GRAVEL HAS 40% VOIDS

INFILTRATE 0.2 IN/HR X 48 HRS X (1FT/12IN) = 0.8 FT.
 294 CU. FT./0.8 FT. = 368 SQ. FT. OF REQUIRED SURFACE AREA

2 FEET DEEP OF ROCK X 40% = 0.8 FT

AREA PER INFILTRATION BASIN NO. 1 = 13 FT WIDE X 19 FT LONG = 247 SQ. FT.

AREA PER INFILTRATION BASIN NO. 2 = 10 FT WIDE X 12.8 FT LONG = 128 SQ. FT.

TOTAL INFILTRATION BASIN AREA = 247 + 128 = 375 SQ. FT. WHICH IS GREATER THAN 368 SQ. FT. OF REQUIRED SURFACE AREA

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Revised June 16, 2021
 May 12, 2021

Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

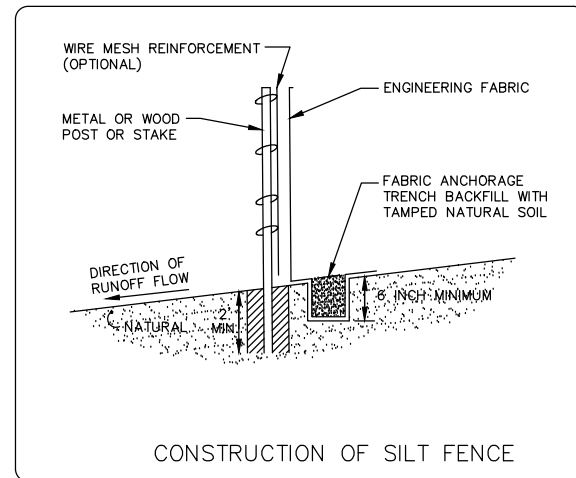
EROSION CONTROL PLAN

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

Phone: 651-776-6211



1. Sequence of Erosion Control Construction Activities

- a) Installation of silt fence or Bio Rolls prior to any construction activity.
- b) Installation of rock construction entrance prior to any construction activity.
- c) The site shall be re-vegetated within 48 hours of final grading.
- d) Install landscaping as per landscape plan.

2. Erosion and Sediment Control Measures

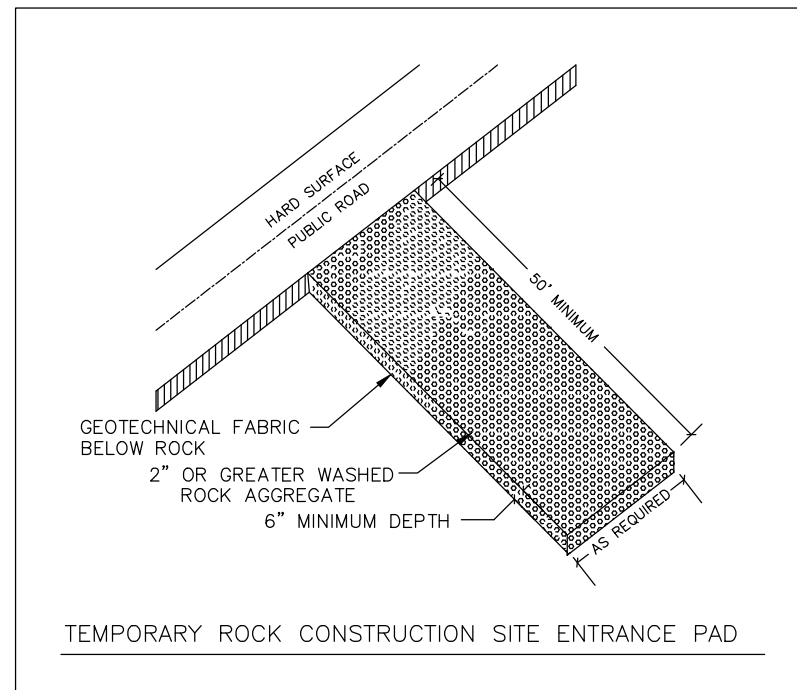
All best management practices (BMPS) determined by the Engineer to be effective are available for use on the site. BMPs anticipated to be used on the Project include the following:

- * Silt Fence
- * Concrete Mixing/Washout Basins shall be taken offsite
- * Final Landscaping with Seed, Fertilizer, Topsoil or Sod
- * Street Sweeping

3. Inspection and Maintenance

The Contractor is responsible for providing, maintaining and removing all Erosion Control BMPs, as set forth above, which includes all materials, equipment and labor.

Owner is responsible for having the Contractor install, maintain and remove the BMPs as set forth above.



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June 16, 2021
May 12, 2021

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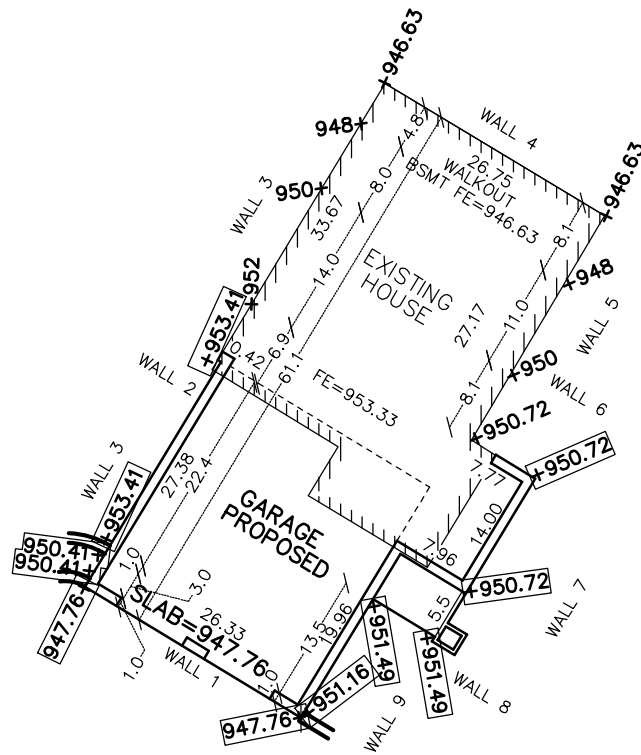
AVERAGE GROUND ELEVATION

LAKE AND LAND SURVEYING, INC.
 1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211

Made For:

Mr. Martin Heglund
 Step Beyond Building and Remodeling
 2111 Longhorn Lane,
 Buffalo, MN 55313

AVERAGE GROUND ELEVATION = 951.89



SEE ATTACHED CALCULATIONS



SCALE
 1 inch = 20 ft.

SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

LEGEND

- x xxx.xx Denotes Existing Spot Elevation
- xxx-- Denotes Existing Contour
- +xxx.xx Denotes Proposed Spot Elevation
- xxx--- Denotes Proposed Contours
- Denotes Proposed Drainage Direction
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- ⓔ Denotes Electric Meter
- Ⓣ Denotes Utility Pole
- ⊗ Denotes Water Valve
- ▬ Denotes Proposed Silt Fence or Bio Rolls
- ▨ Denotes Concrete Surface

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Jonathan L. Faraci
 June 16, 2021
 May 12, 2021

Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

WALL 1 $947.76 \times 26.33 = 24,955$ 26.33

WALL 2 $953.41 \times 0.42 = 400$ 4 0.42

WALL 3 A $\frac{947.76 + 950.41}{2} \times 1' = 949$

B $950.41 \times 3' = 2851$

C $\frac{950.41 + 953.41}{2} \times 1 = 952$

D $953.41 \times 22.4 = 21,356$

E $\frac{953.41 + 952}{2} \times 6.9 = 6574$ ✓

F $\frac{952 + 950}{2} \times 14 = 13,314$ ✓

G $\frac{950 + 948}{2} \times 8 = 7592$

H $\frac{948 + 946.63}{2} \times 4.8 = 4547$

61.1

WALL 4 $946.63 \times 26.75 =$

25,322

108,812

26.75

114.60

WALL 5 A $\frac{946.63 + 948}{2} \times 8.1 = 7673$

B $\frac{948 + 950}{2} \times 11 = 10,439$

C $\frac{950 + 950.72}{2} \times 8.1 = 7698$

27.2

WALL 6 $950.72 \times 7.8 = 7416$ 7.8

WALL 7 A $950.72 \times 14 = 13,310$

B $\frac{950.72 + 951.49}{2} \times 5.5 = 5231$

19.5

WALL 8 $951.49 \times 8 = 7612$ 8

WALL 9

A $\frac{951.49 + 951.16}{2} \times 13.5 = 12843$

14.5

B $\frac{951.16 + 947.76}{2} \times 1 = 949$

$\frac{128,983}{191.18}$

$= 951.89$
AVE GRADE

73,171

77

GRADING PLAN

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

Phone: 651-776-6211

Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

LAKEWOOD PARK

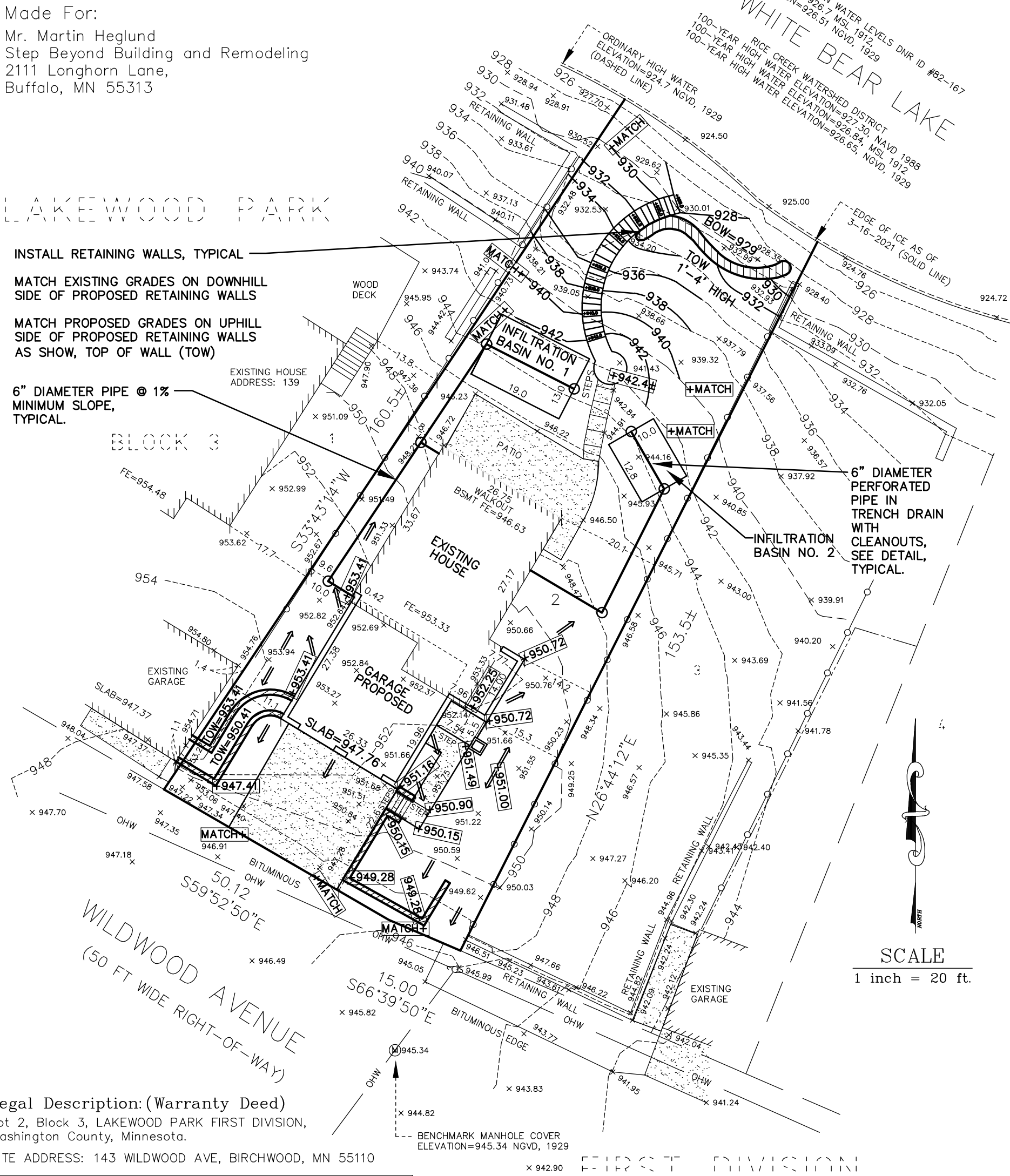
INSTALL RETAINING WALLS, TYPICAL

MATCH EXISTING GRADES ON DOWNHILL SIDE OF PROPOSED RETAINING WALLS

MATCH PROPOSED GRADES ON UPHILL SIDE OF PROPOSED RETAINING WALLS AS SHOWN, TOP OF WALL (TOW)

6" DIAMETER PIPE @ 1% MINIMUM SLOPE, TYPICAL.

6" DIAMETER PERFORATED PIPE IN TRENCH DRAIN WITH CLEANOUTS, SEE DETAIL, TYPICAL.



WHITE BEAR LAKE
RICE CREEK WATERSHED DISTRICT
HIGHEST KNOWN WATER LEVELS DNR ID #82-167
ELEVATION=926.7 MSL, 1912
ELEVATION=926.51 NGVD, 1929
100-YEAR HIGH WATER ELEVATION=927.30, NAVD, 1988
100-YEAR HIGH WATER ELEVATION=926.84, MSL, 1912
100-YEAR HIGH WATER ELEVATION=926.65, NGVD, 1929

WILDWOOD AVENUE
(50 FT WIDE RIGHT-OF-WAY)
S59°52'50"E
50.12
S66°39'50"E
15.00

SCALE
1 inch = 20 ft.

Legal Description: (Warranty Deed)
Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.
SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

LEGEND	
x xxx.xx	Denotes Existing Spot Elevation
--xxx--	Denotes Existing Contour
+xxx.xx	Denotes Proposed Spot Elevation
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—o—	Denotes Chain-link Fence
⊠	Denotes Gas Meter
⊞	Denotes Electric Meter
⊕	Denotes Utility Pole
⊗	Denotes Water Valve
▬	Denotes Proposed Silt Fence or Bio Rolls
▨	Denotes Concrete Surface

AREAS
HOUSE: 1734 SQ. FT.
FRONT SIDEWALK & STOOP: 147 SQ. FT.
REAR SIDEWALK AND PATIO: 601 SQ. FT.
DRIVEWAY: 554 SQ. FT.
RETAINING WALLS: 173 SQ. FT.
TOTAL IMPERVIOUS SURFACE: 1734+147+601+554+173 = 3209 SQ. FT.
TOTAL LOT AREA TO ORDINARY HIGH WATER ELEVATION: 8726 SQ. FT. OR 0.20 ACRES
TOTAL PERCENTAGE IMPERVIOUS SURFACE: 3209/8726 = 0.37 x 100 = 37%

I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jonathan L. Faraci
Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464
June 16, 2021
May 12, 2021

OVERLAY EXHIBIT

LAKE AND LAND SURVEYING, INC.

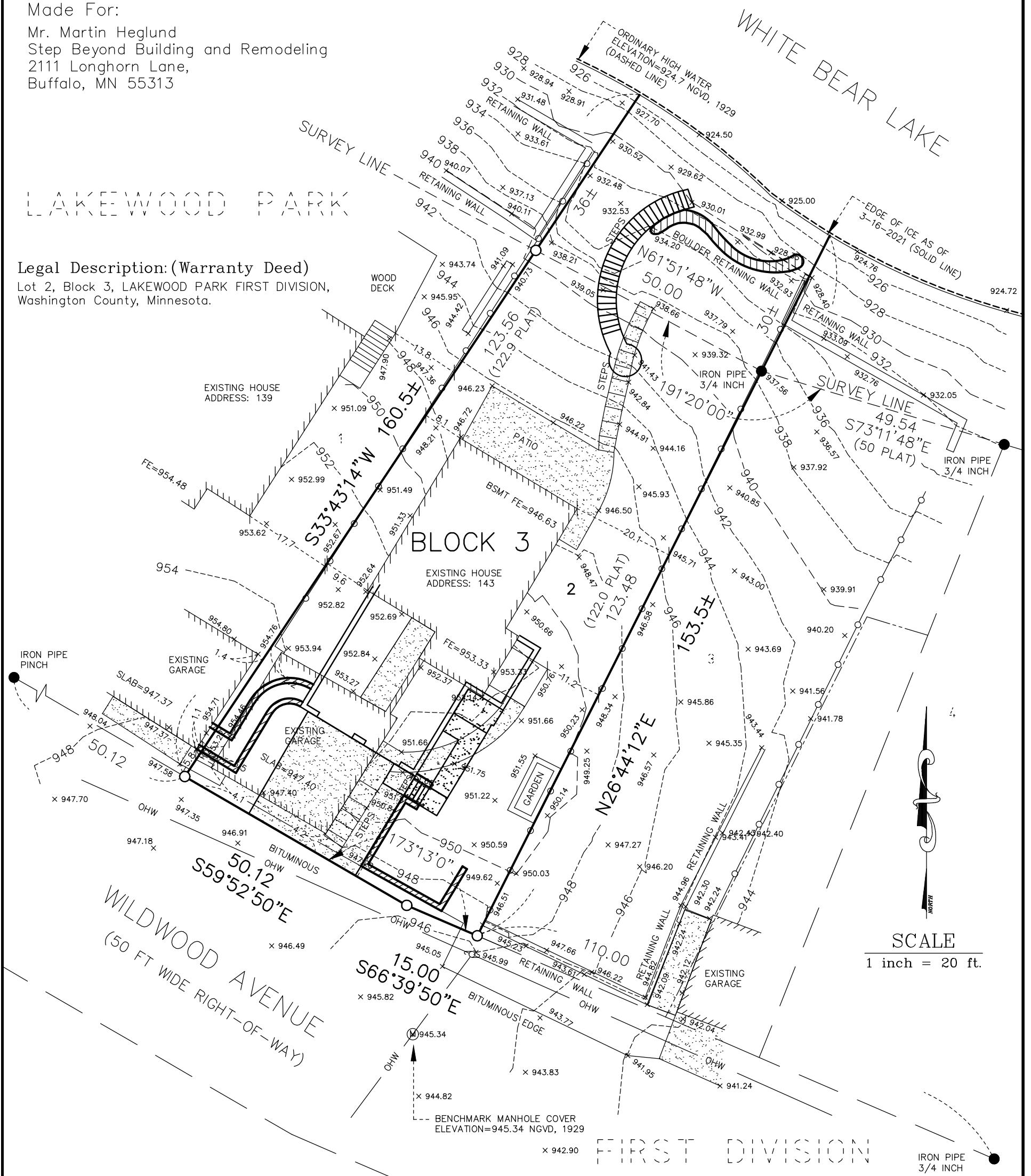
1200 Centre Pointe Curve, Suite 375
Mendota Heights, Minnesota 55120
Phone: 651-776-6211

Made For:

Mr. Martin Heglund
Step Beyond Building and Remodeling
2111 Longhorn Lane,
Buffalo, MN 55313

LAKEWOOD PARK

Legal Description: (Warranty Deed)
Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
Washington County, Minnesota.



SCALE
1 inch = 20 ft.

NOTES:

- DENOTES 12 INCH COMMON SPIKE SET WITH WASHER STAMPED RLS 16464 OR AS NOTED.
- DENOTES IRON MONUMENT FOUND SIZE, TYPE, & R.L.S. AS NOTED.
- x xxx.xx DENOTES EXISTING SPOT ELEVATION
- XXX-- DENOTES EXISTING GRADE CONTOUR
- DENOTES CHAIN-LINK FENCE
- ⊠ DENOTES GAS METER
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- OHW— DENOTES OVERHEAD UTILITY WIRES
- ⊗ DENOTES WATER VALVE
- ▨ DENOTES CONCRETE SURFACE

AREAS
 EXISTING HOUSE: 1047 SQ. FT.
 REAR STEPS, PATIO AND RETAINING WALLS: 556 SQ. FT.
 FRONT STEPS AND CONCRETE SURFACES: 438 SQ. FT.
 EXISTING GARAGE: 685 SQ. FT.
 TOTAL IMPERVIOUS SURFACE: 1047+556+438+685= 2726 SQ. FT.
 TOTAL LOT AREA TO ORDINARY HIGH WATER ELEVATION: 8726 SQ. FT. OR 0.20 ACRES
 TOTAL PERCENTAGE IMPERVIOUS SURFACE: 2726/8726 = 0.31 x 100 = 31%

BASIS OF BEARINGS: WASHINGTON COUNTY COORDINATES NAD 83 (1986)
 SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

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Rev. June 16, 2021
 Rev. May 12, 2021
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SITE PLAN

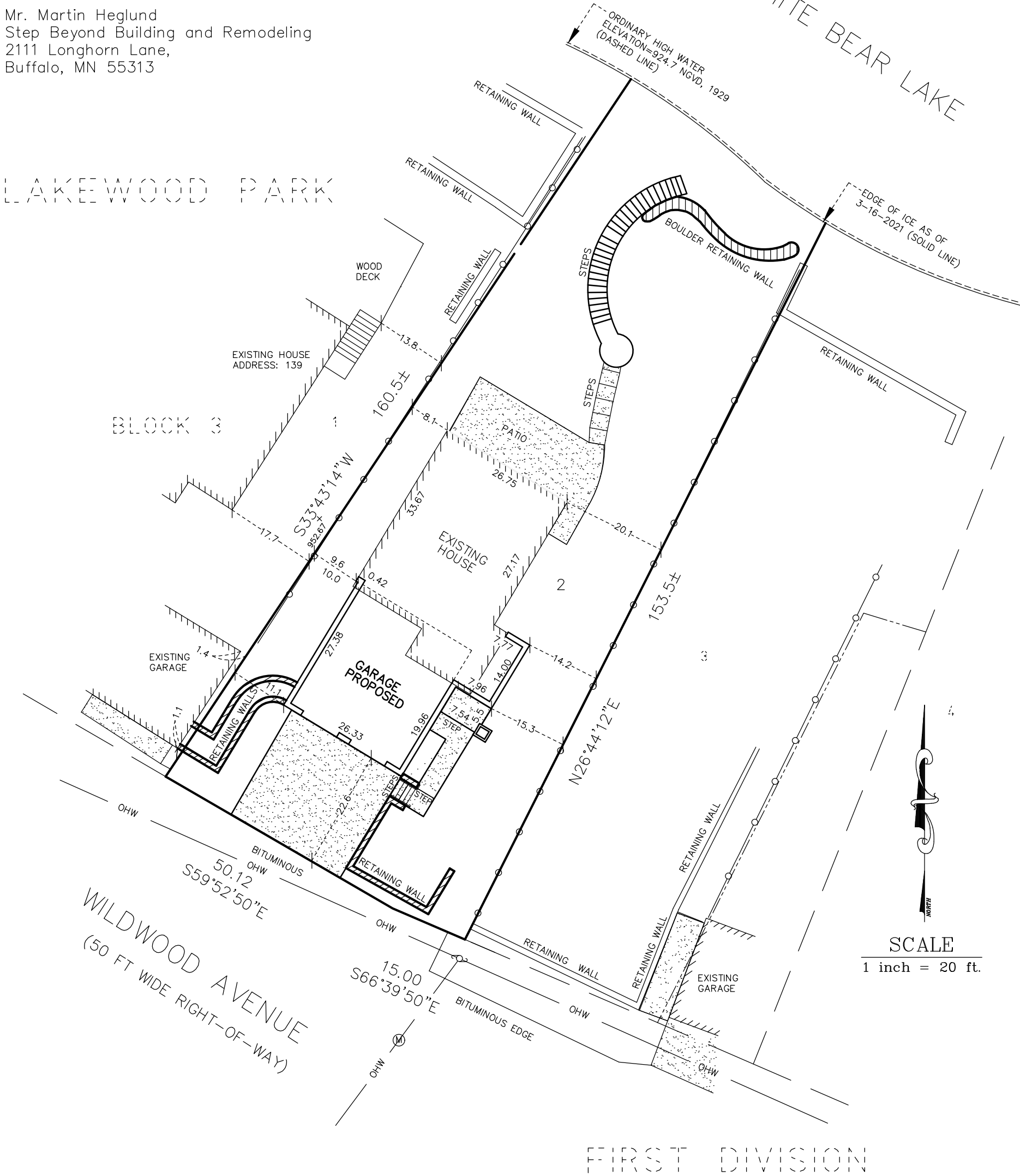
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 1200 Centre Pointe Curve, Suite 375
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Made For:

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 2111 Longhorn Lane,
 Buffalo, MN 55313

LAKEWOOD PARK

WHITE BEAR LAKE



SCALE
 1 inch = 20 ft.

FIRST DIVISION

Legal Description: (Warranty Deed)

Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
 Washington County, Minnesota.

SITE ADDRESS: 143 WILDWOOD AVE, BIRCHWOOD, MN 55110

LEGEND

- ss— Denotes Underground Sanitary Sewer
- w— Denotes Underground Water Service
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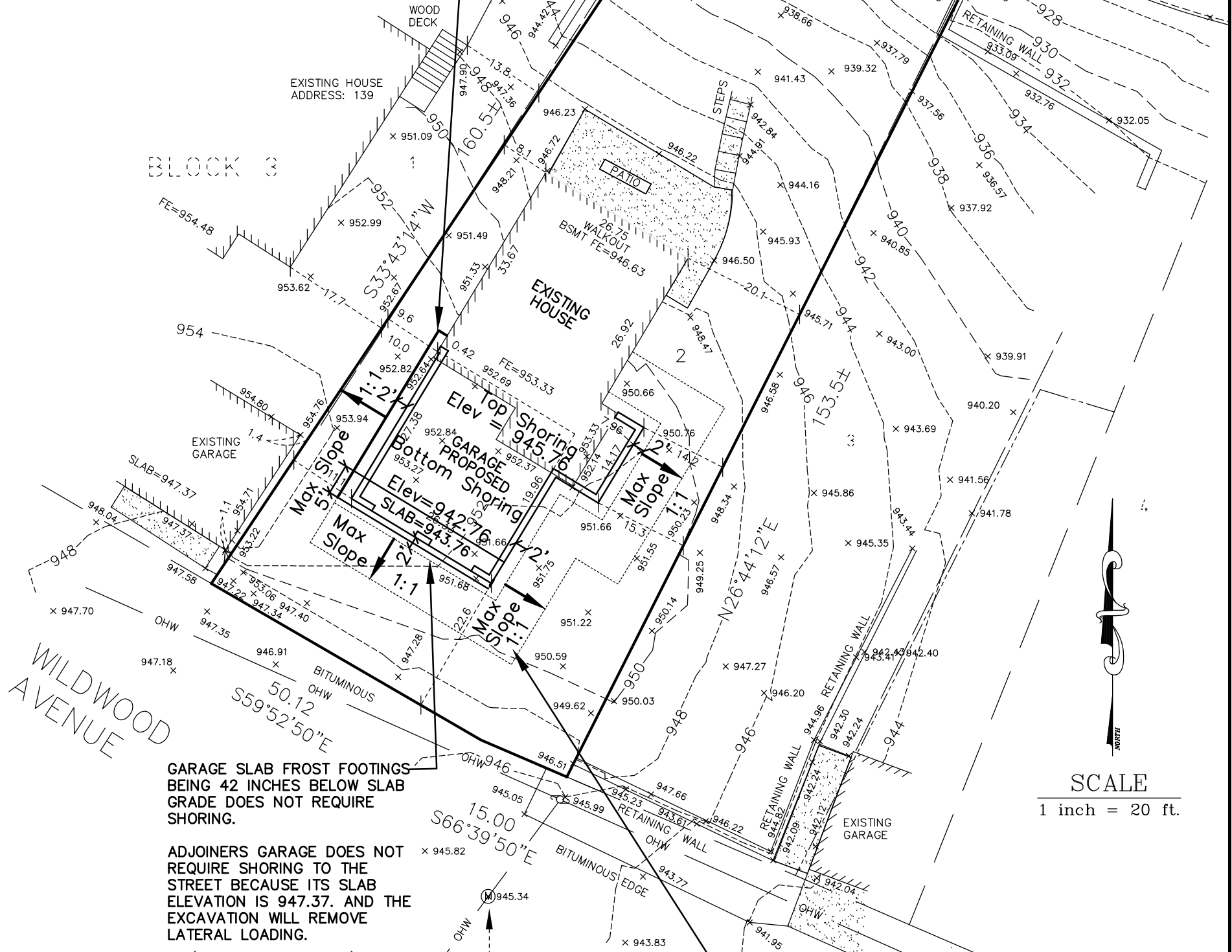
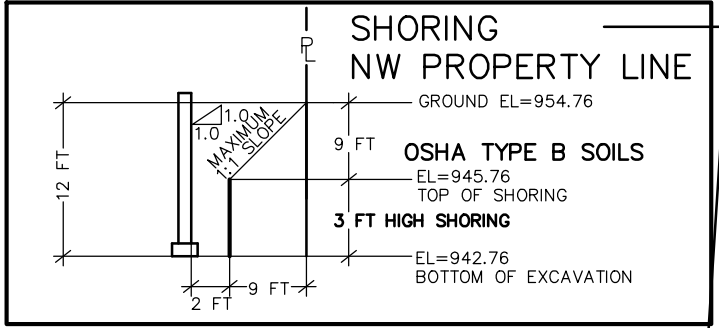
Jonathan L. Faraci
 June 16, 2021
 May 12, 2021
 Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

TEMPORARY SHORING LOCATIONS & SOIL SLOPE FOR SAFE EXCAVATION

LAKE AND LAND SURVEYING, INC.
 1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211

Made For:
 Mr. Martin Heglund
 Step Beyond Building and Remodeling
 2111 Longhorn Lane,
 Buffalo, MN 55313

WHITE BEAR LAKE
 RICE CREEK WATERSHED DISTRICT
 100-YEAR HIGH WATER ELEVATION=926.84, MSL 1912
 100-YEAR HIGH WATER ELEVATION=926.65, NGVD, 1929
 HIGHEST KNOWN WATER LEVELS DNR ID #82-167
 ELEVATION=926.7 MSL 1912
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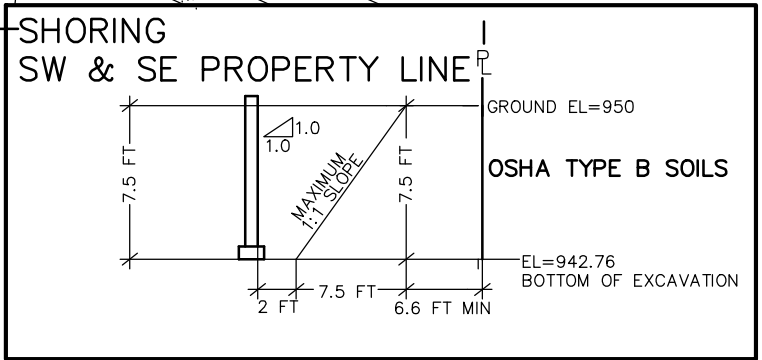


GARAGE SLAB FROST FOOTINGS BEING 42 INCHES BELOW SLAB GRADE DOES NOT REQUIRE SHORING.

ADJOINERS GARAGE DOES NOT REQUIRE SHORING TO THE STREET BECAUSE ITS SLAB ELEVATION IS 947.37. AND THE EXCAVATION WILL REMOVE LATERAL LOADING.

Legal Description: (Warranty Deed)
 Lot 2, Block 3, LAKEWOOD PARK FIRST DIVISION,
 Washington County, Minnesota.
 SITE ADDRESS: 143 WILLOW AVE, BIRCHWOOD, MN 55110

LEGEND	
x xxx.xx	Denotes Existing Spot Elevation
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▬▬▬	Denotes Proposed Silt Fence or Bio Rolls
▨	Denotes Concrete Surface



TEMPORARY SHORING AT 2 FT MAXIMUM FROM FOUNDATION LINE.
 3X3 STEEL POSTS PLACED AT 3.5 FEET O.C.
 DRIVEN 6 FEET MINIMUM INTO THE BOTTOM OF THE EXCAVATION.
 (2PLY) 3/4 INCH PLYWOOD TO 3 FT HIGH
 SHORING NEEDS TO EXTEND 5 FT PAST THE FOOTINGS STEP DOWN
 SHORED AREAS: SLOPE SOIL AT 1 TO 1 MAXIMUM BACKSLOPE (SEE DETAIL)

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 Registered Land Surveyor & Registered Engineer
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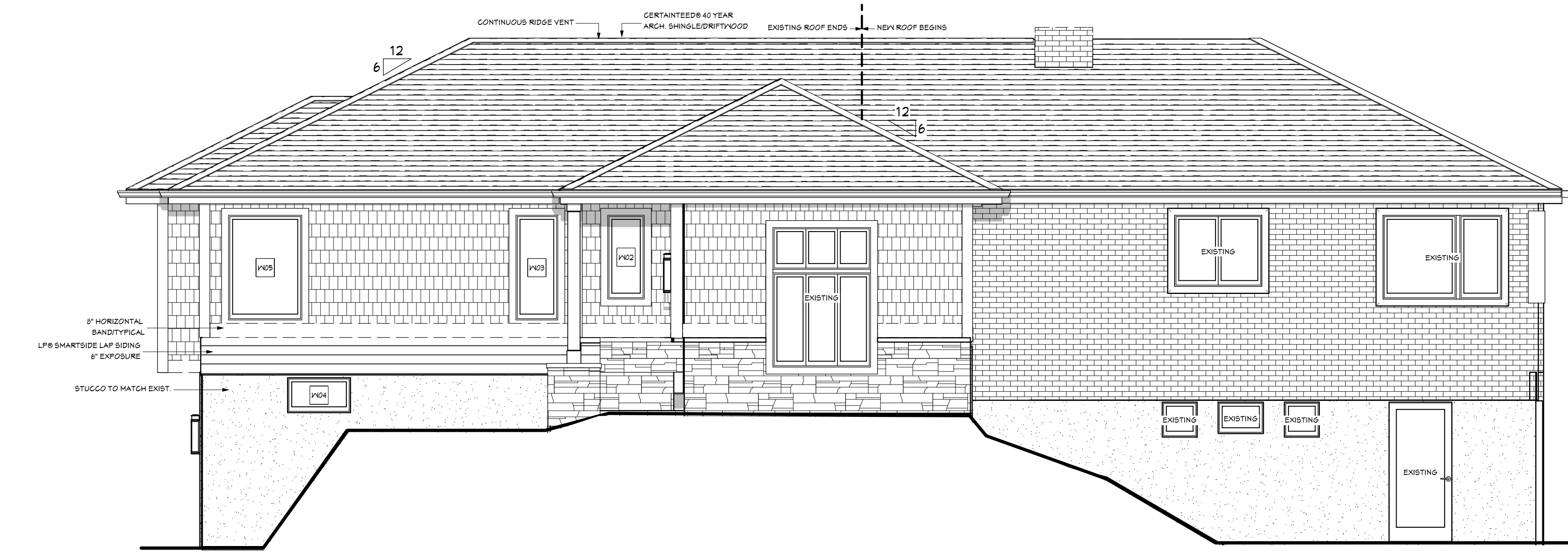
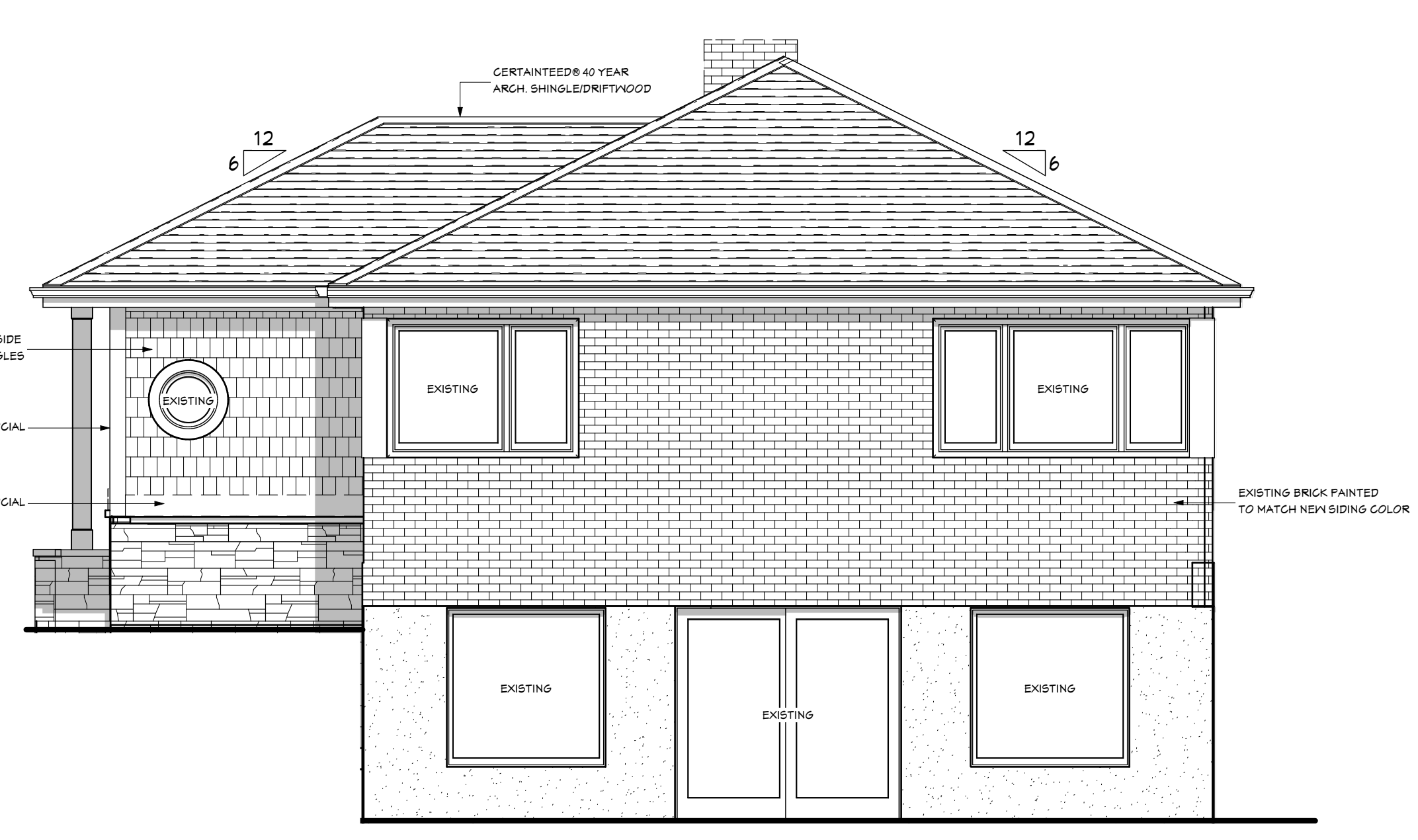
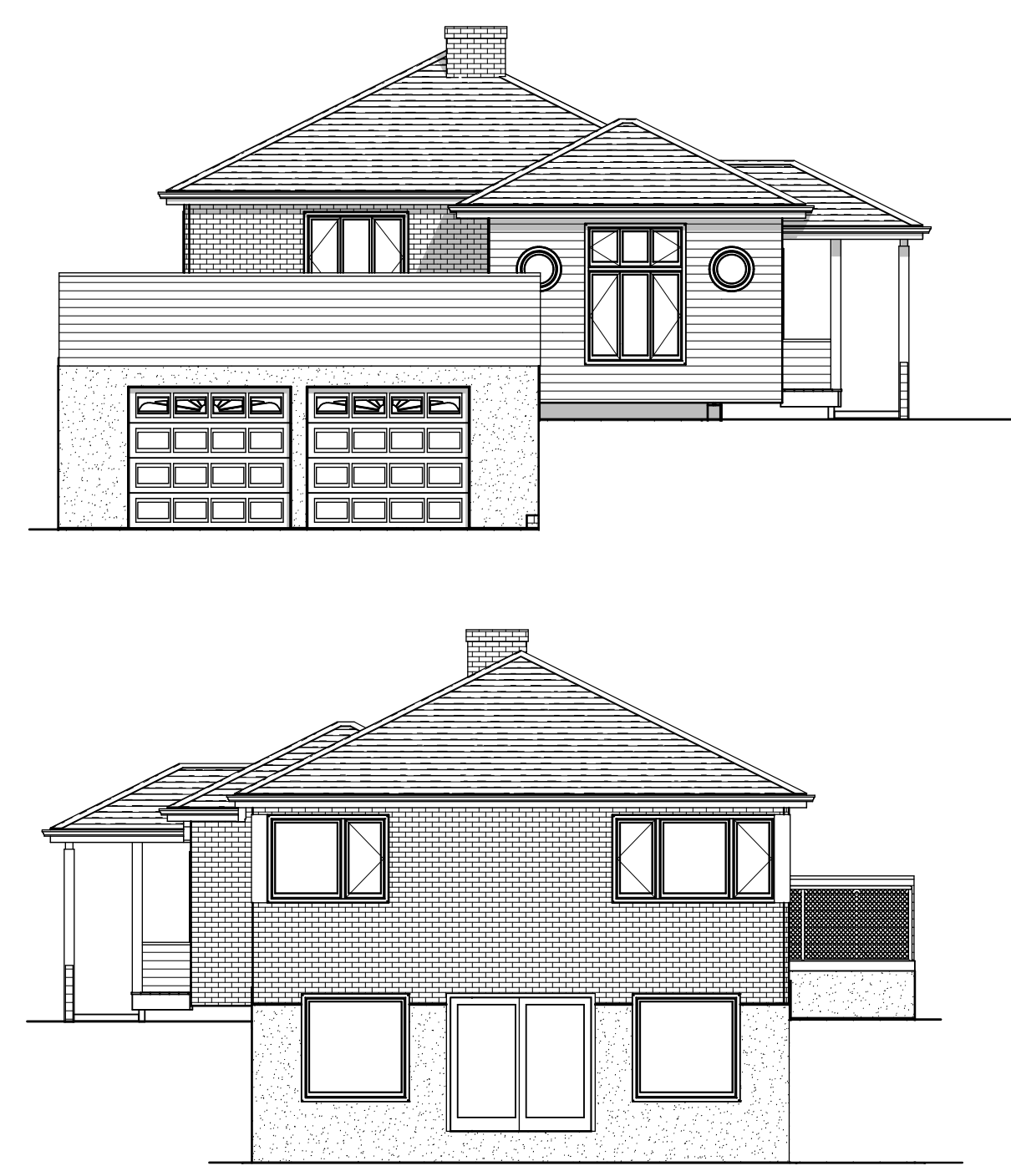
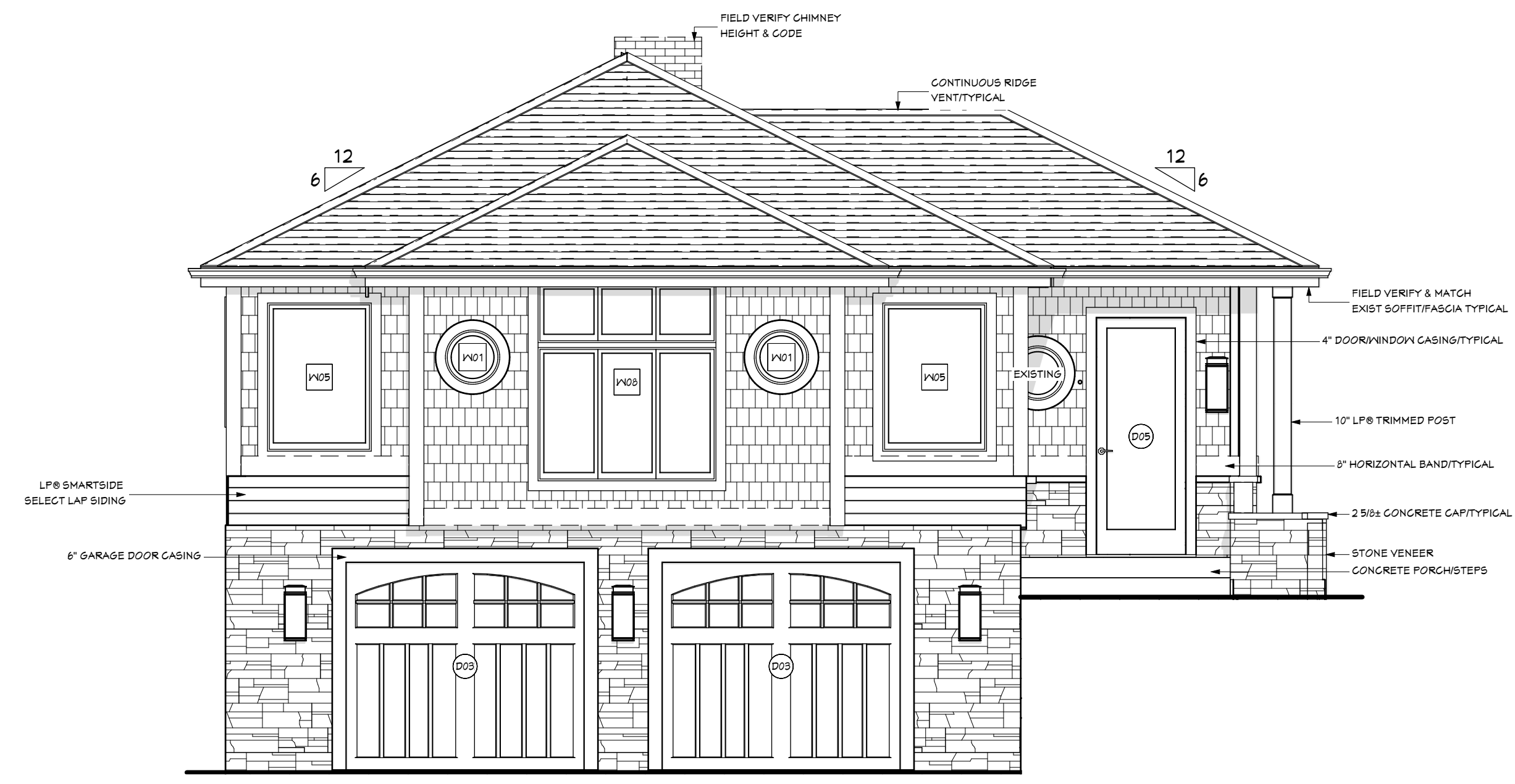
June 16, 2021
 May 12, 2021

PROPOSED AND EXISTING ELEVATION VIEWS

1/4" = 1'

PROPRIETARY WORK NOTICE
 THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF WOODLAND DESIGN LLC. DEVELOPED FOR THE EXCLUSIVE USE OF WOODLAND DESIGN LLC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF WOODLAND DESIGN LLC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

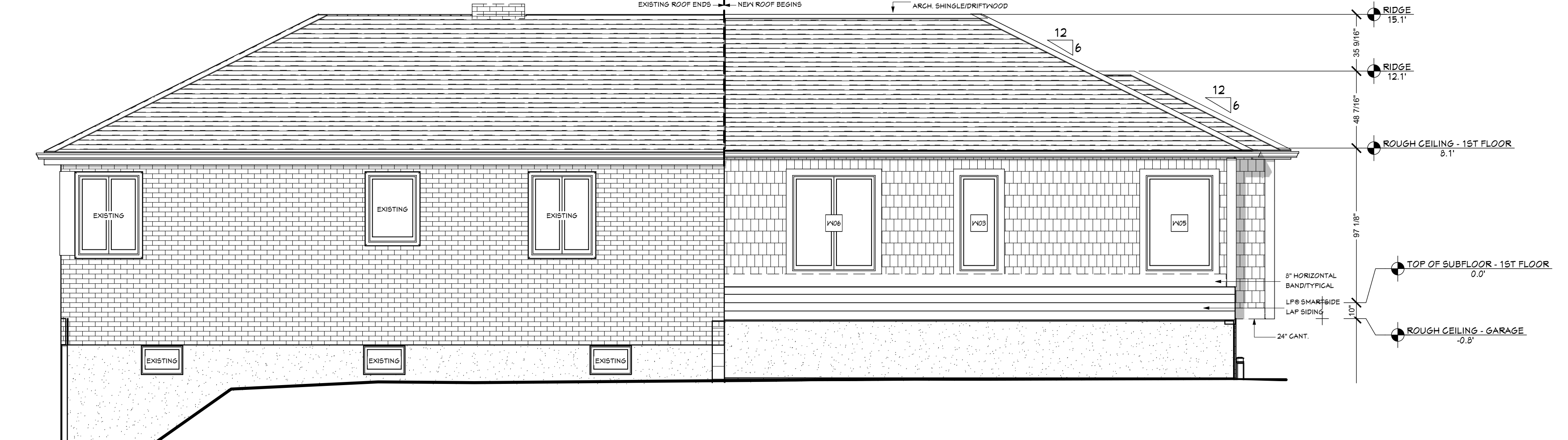
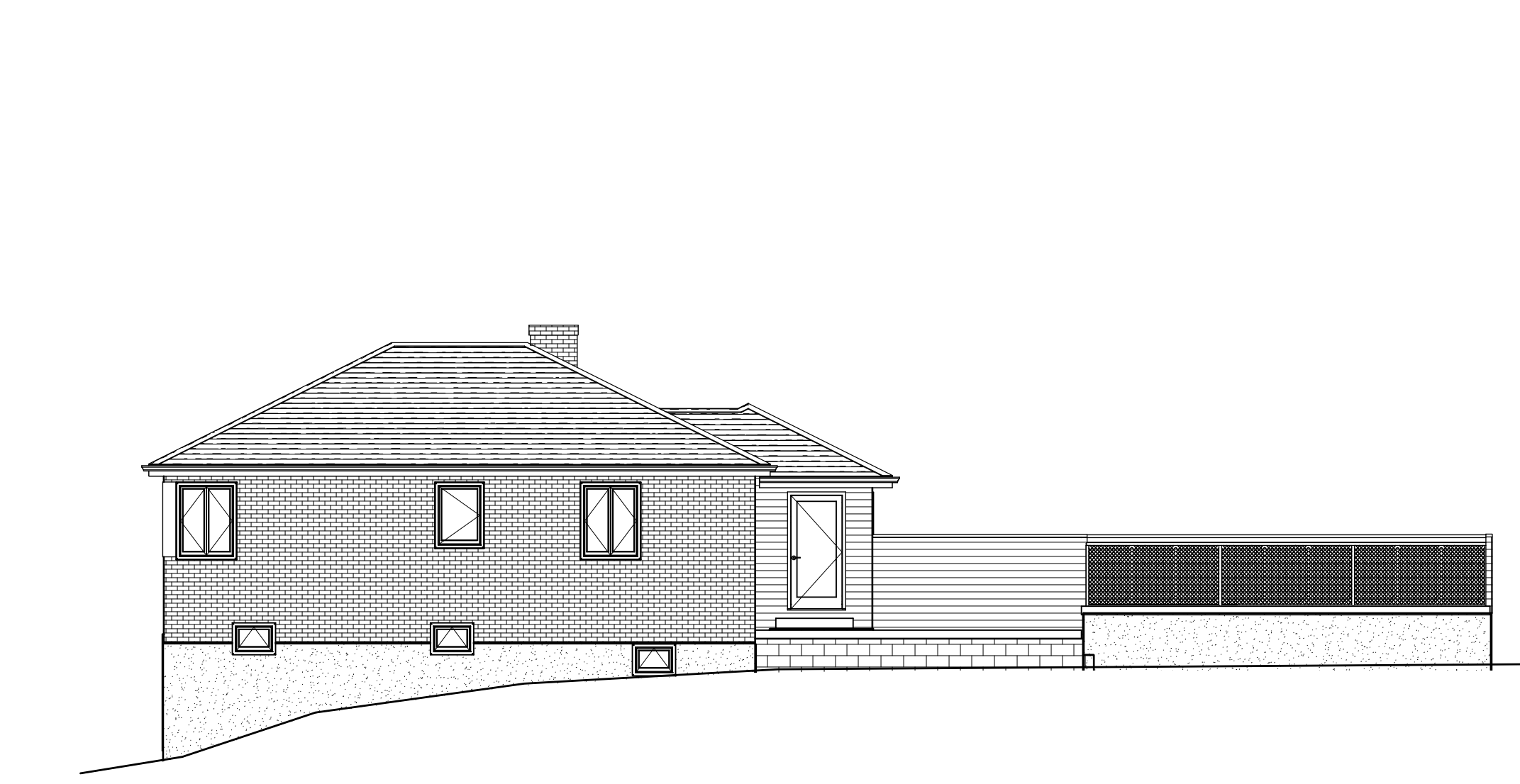
UNIFORM DISCLOSURE AND NOTICE
 TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH ORDINANCES AND OR BUILDING SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTING ARE MADE AT THE RISK OF THE OWNER AND I AM NOT RESPONSIBLE FOR SUCH CHANGES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS. WOODLAND DESIGN LLC IS NOT LIABLE FOR ANY ERRORS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



EXTERIOR FINISH NOTES:
 1. EXTERIOR FINISH TO BE LP SMART SIDING OVER 5/8\"/>

EROSION CONTROL NOTES:
 1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
 2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
 3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR POOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR SOIL APPLICATION.
 4. IMPROVED WITH A PWOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2.000/100 SQ. YD. USE AN ORGANIC TAGGERS AT NO LESS THAN 180\"/>

VERIFICATIONS:
 HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS BY MEASURING DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
 BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.
 ELECTRICAL SYSTEM CODE: SEC. 201
 MECHANICAL SYSTEM CODE: SEC. 201
 PLUMBING SYSTEM CODE: SEC. 201



REMODELING PROJECT FOR:
 CAMERON AND JESSICA SIGECAN
 143 WILDWOOD AVE
 BIRCHWOOD VILLAGE, MN 55110

CONTRACTOR OF RECORD:
 TBD

WOODLAND DESIGN LLC
 LAKE ELMO, MN
 woodland@ustfamily.net
 Phone: 651/472-6022



INITIAL DESIGN DATE:
 11/30/2020

CURRENT DATE:
 7/8/2021

SCALE:
 1/4" = 1' (OR AS NOTED)

DRAWING SHEET SIZE:
 ARCH D (24" x 36")

LIVING AREA SQ. FT.:

SHEET:

A1

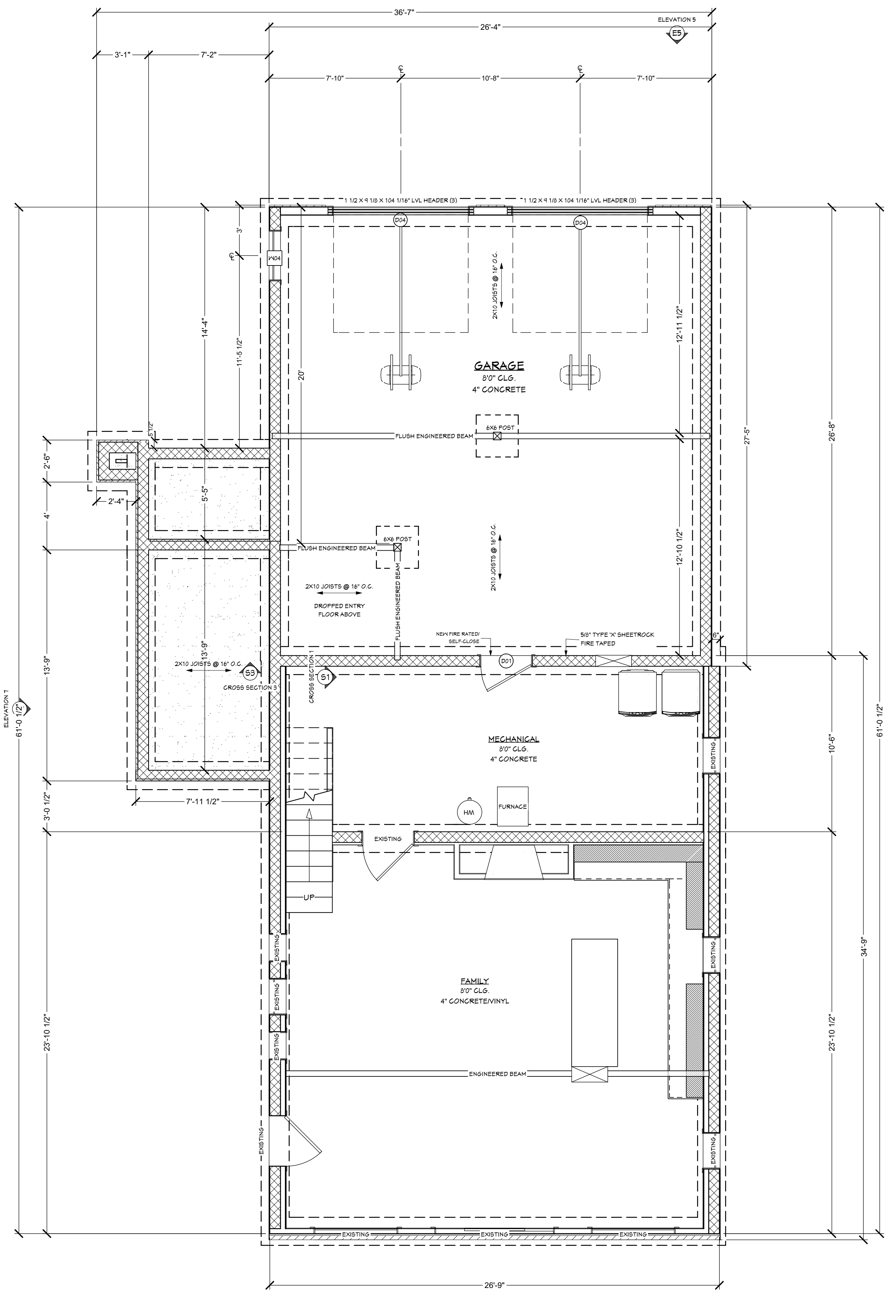
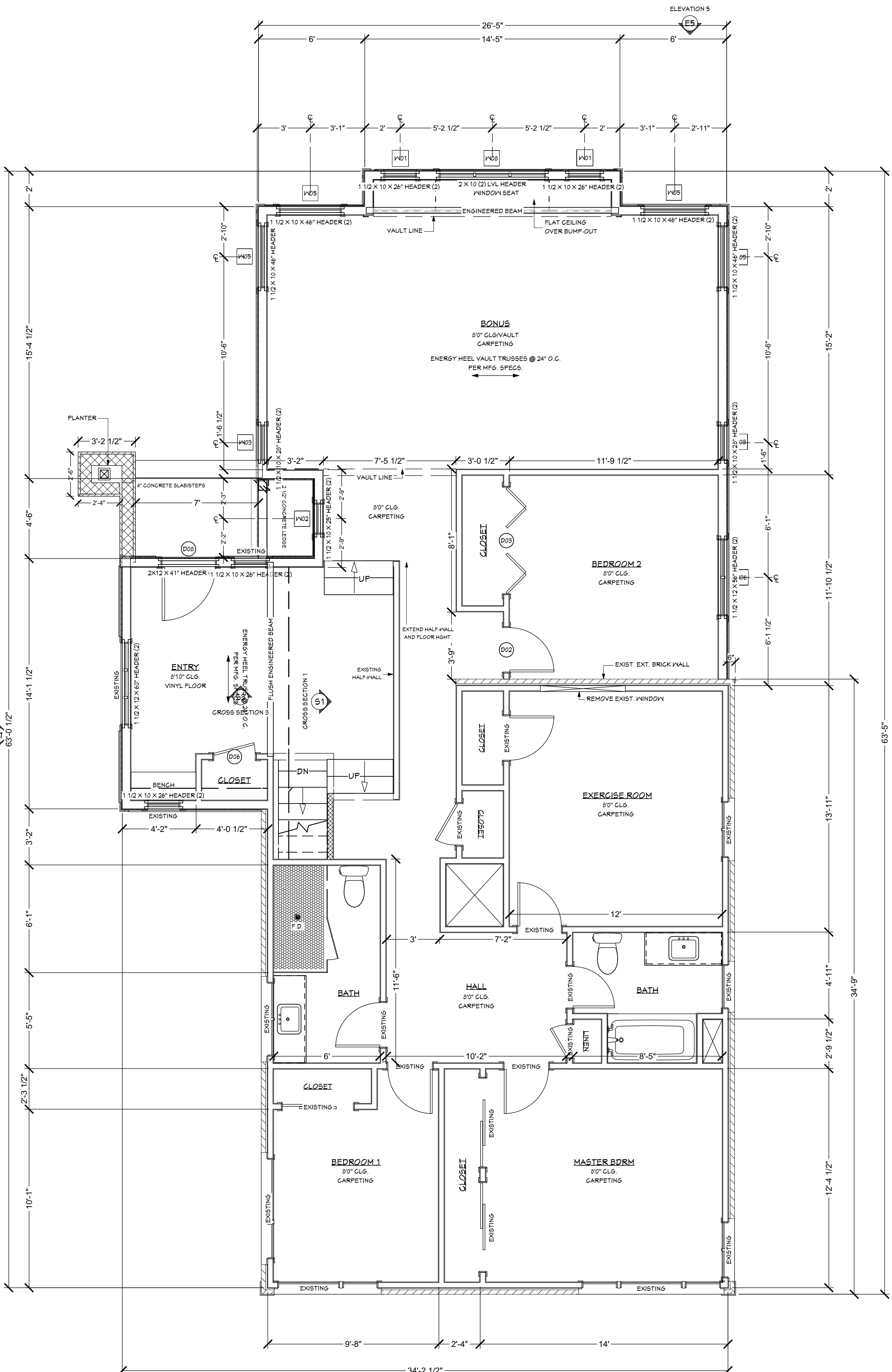
PROPOSED MAIN AND FOUNDATION LEVEL PLANS

1/4" = 1'

UNIFORM DISCLOSURE AND NOTICE

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH ORDINANCES AND OR BUILDING SPECIFICATIONS AND ANY CHANGES MADE ON THESE AFTER PRINTS ARE MADE WILL BE MADE BY THE OWNER AND I WILL BE RESPONSIBLE FOR THE CONTRACTOR. I SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS. WOODLAND DESIGN LLC IS NOT RESPONSIBLE FOR ANY CHANGES MADE ON THESE AFTER PRINTS ARE MADE. THE DESIGN INCLUDES ANY IMPROVED MEASUREMENTS, INCLUDING A BUILDING, MECHANICAL, ELECTRICAL AND PLUMBING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

WOODLAND DESIGN LLC
143 WILDWOOD AVE
BIRCHWOOD VILLAGE, MN 55110



VERIFICATIONS:

HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS AND BUILDING CODES AND GRADE REQUIREMENTS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

BUILDING CONTRACTOR/OWNER TO REVISION AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.

ELECTRICAL SYSTEM CODE: SEC 2701
MECHANICAL SYSTEM CODE: SEC 2301
PLUMBING SYSTEM CODE: SEC 2401

WALL SCHEDULE

NO.	DESCRIPTION
1	8\"/>

DOOR SCHEDULE

NUMBER	LABEL	FLOOR	WIDTH	HEIGHT	FINISH	DESCRIPTION	THICKNESS	MANUFACTURER
D01	1101	1	36	80	1	BRAND	1 1/2"	TEPP

WINDOW SCHEDULE

NUMBER	LABEL	FLOOR	WIDTH	HEIGHT	FINISH	DESCRIPTION	THICKNESS	MANUFACTURER
W01	1101	1	36	80	1	BRAND	1 1/2"	TEPP

WINDOWS AND GLAZING:

WINDOWS SHALL BE DOUBLE PANE UNFINISHED FRAMED WITH A VALUE OF U-2.0. A FINISH FRAME AND GLAZING TO BE DETERMINED BY OWNER.

3 PANE BEDROOM SHALL BE PROVIDED WITH AN ENERGY EFFICIENT FINISH FRAME. A HEIGHT OF 66\"/>

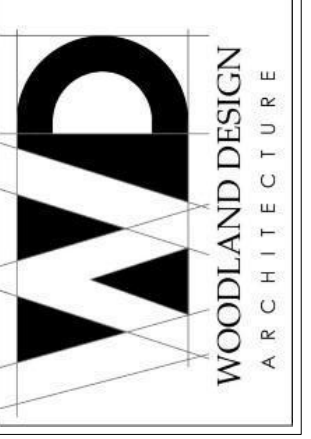
1722 SQ. FT.

1098 SQ. FT.

REMODELING PROJECTOR:
CAMERON AND JESSICA SIGEAN
143 WILDWOOD AVE
BIRCHWOOD VILLAGE, MN 55110

CONTRACTOR OF RECORD:
TBD

WOODLAND DESIGN LLC
LAKE ELMO, MN
woodland@ustfamily.net
Phone: 651/472-6032



INITIAL DESIGN DATE:
11/30/2020

CURRENT DATE:
7/8/2021

SCALE:
1/4" = 1' (OR AS NOTED)

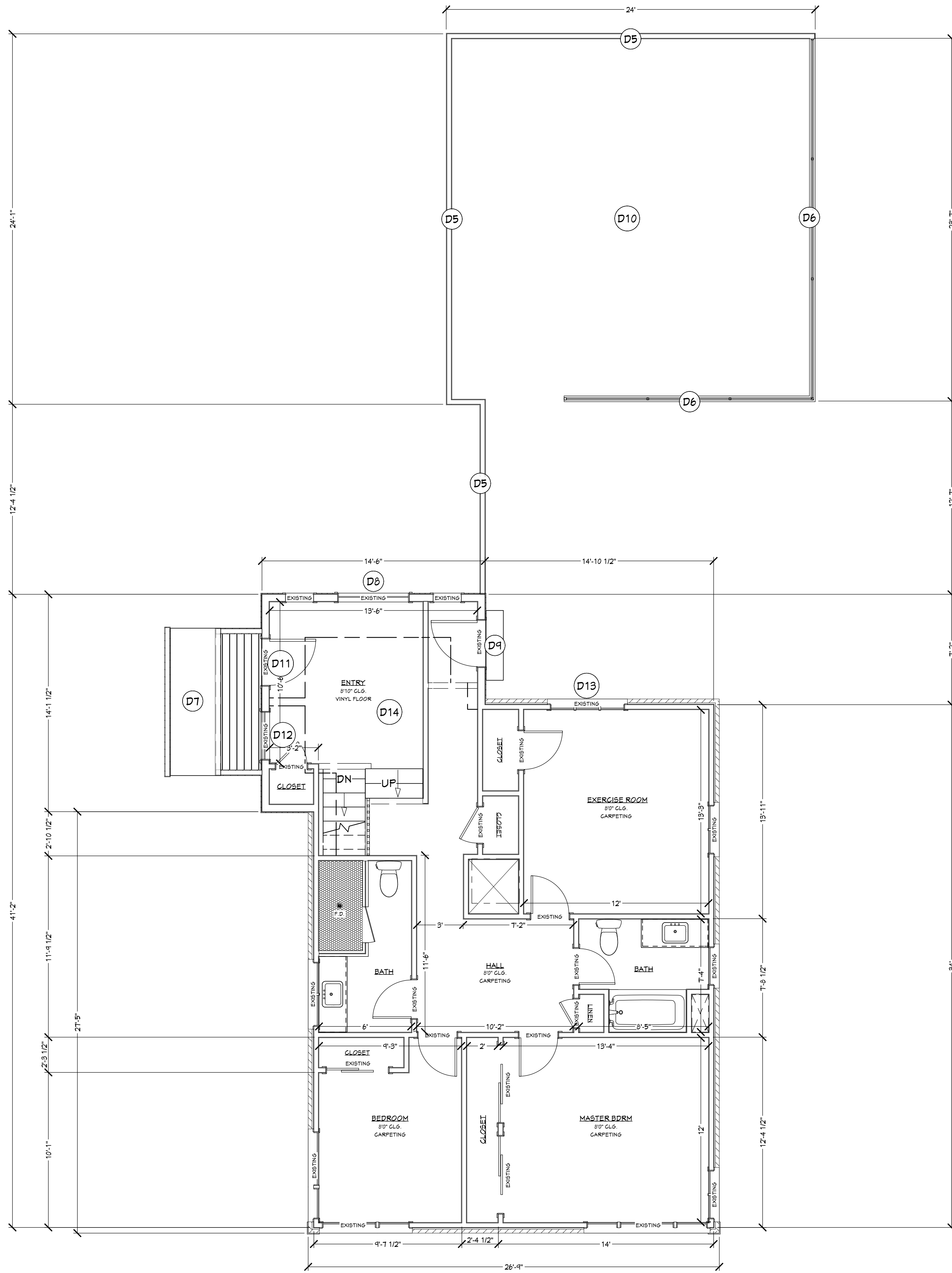
DRAWING SHEET SIZE:
ARCH D (24" x 36")

LIVING AREA SQ. FT.:

SHEET:
A2

EXISTING MAIN AND FOUNDATION LEVELS

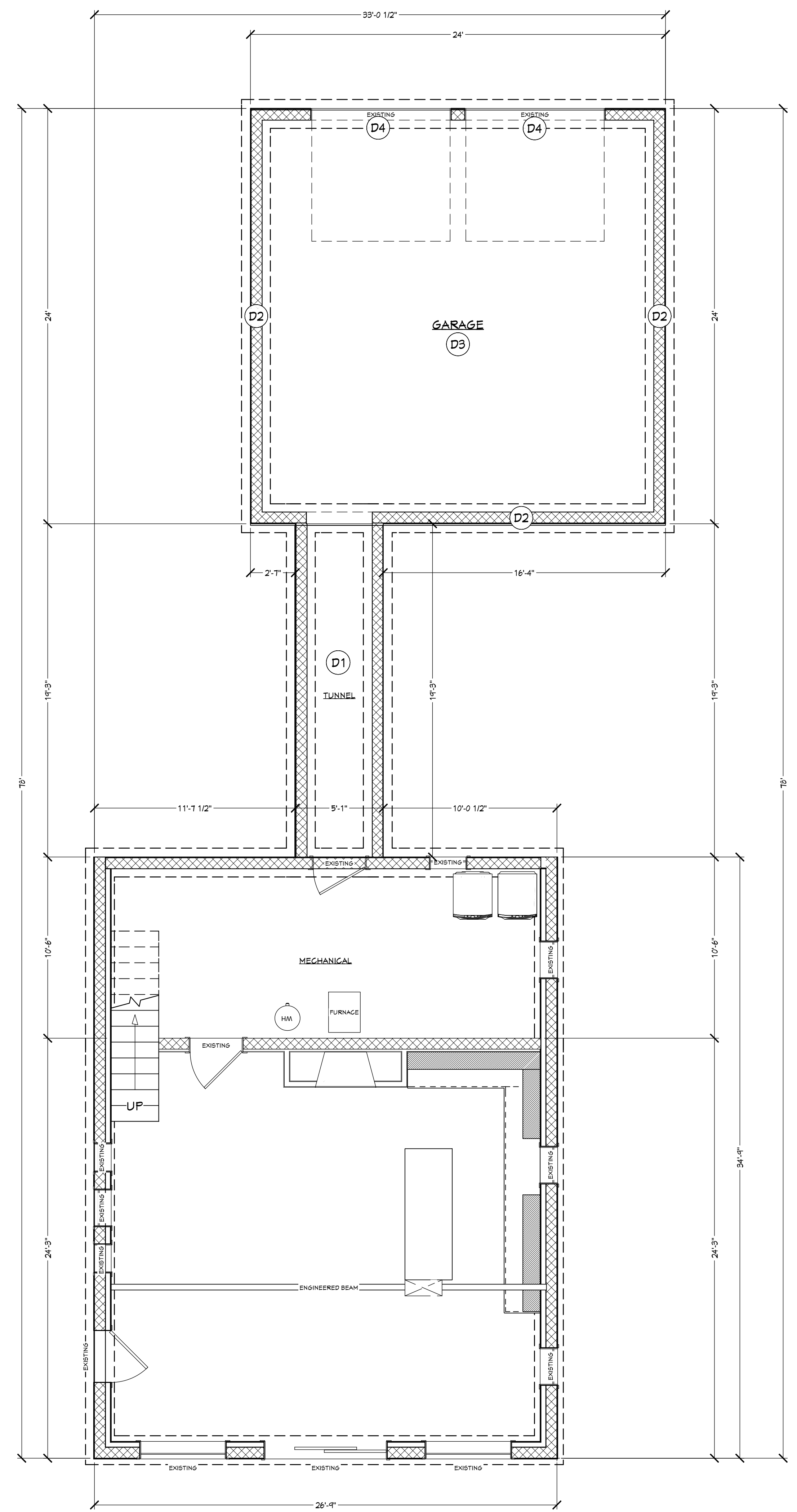
1/4" = 1'



UNIFORM DISCLOSURE AND NOTICE:
 TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNERS AND OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE SINCE THE ATTESTING DATE AND SHALL BE DONE AT THE OWNERS AND OR BUILDERS EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REQUIREMENTS. WOODLAND DESIGN LLC IS NOT LIABLE FOR ERRORS SINCE CONSTRUCTION HAS BEEN IN PROGRESS. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO ACCURATELY REFLECT THE WORKMANSHIP GUARANTEED BY THE CONTRACTOR OF THE JOB, I MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

VERIFICATIONS:
 HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS.
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR PROCEEDING AS APPLICABLE.
 BUILDING CONTRACTOR/OWNER TO VERIFY AND VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 ELECTRICAL SYSTEM CODE: SEC. 201
 MECHANICAL SYSTEM CODE: SEC. 201
 PLUMBING SYSTEM CODE: SEC. 201

DEMO SCHEDULE	
D1	DEMO AND DISCARD TUNNEL WALLS, FLOOR AND ROOF
D2	DEMO AND DISCARD EXIST. GARAGE WALLS
D3	DEMO AND DISCARD EXIST. GARAGE FLOOR
D4	REMOVE AND SAVE EXISTING OHD
D5	DEMO AND DISCARD WALL
D6	REMOVE AND SAVE FENCING
D7	DEMO AND DISCARD PORCH
D8	REMOVE AND REUSE WINDOWS
D9	REMOVE AND SAVE EXT. DOOR
D10	DEMO AND DISCARD EXIST. GARAGE ROOF/CLG.
D11	REMOVE AND SAVE DOOR
D12	REMOVE AND SAVE WINDOW
D13	REMOVE AND DISCARD WINDOW
D14	DEMO AND DISCARD EXISTING ENTRY ROOF

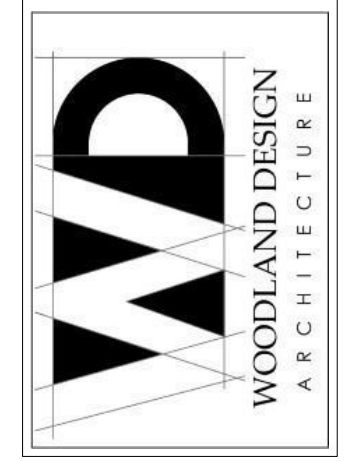


WOODLAND DESIGN LLC
 143 WILDWOOD AVE
 BIRCHWOOD VILLAGE, MN 55110

REMODELING PROJECT FOR:
 CAMERON AND JESSICA SIGECAN
 143 WILDWOOD AVE
 BIRCHWOOD VILLAGE, MN 55110

CONTRACTOR OF RECORD:
 TBD

WOODLAND DESIGN LLC
 LAKE ELMO, MN
 Phone: 651/472-6032
 woodland@ustfamily.net



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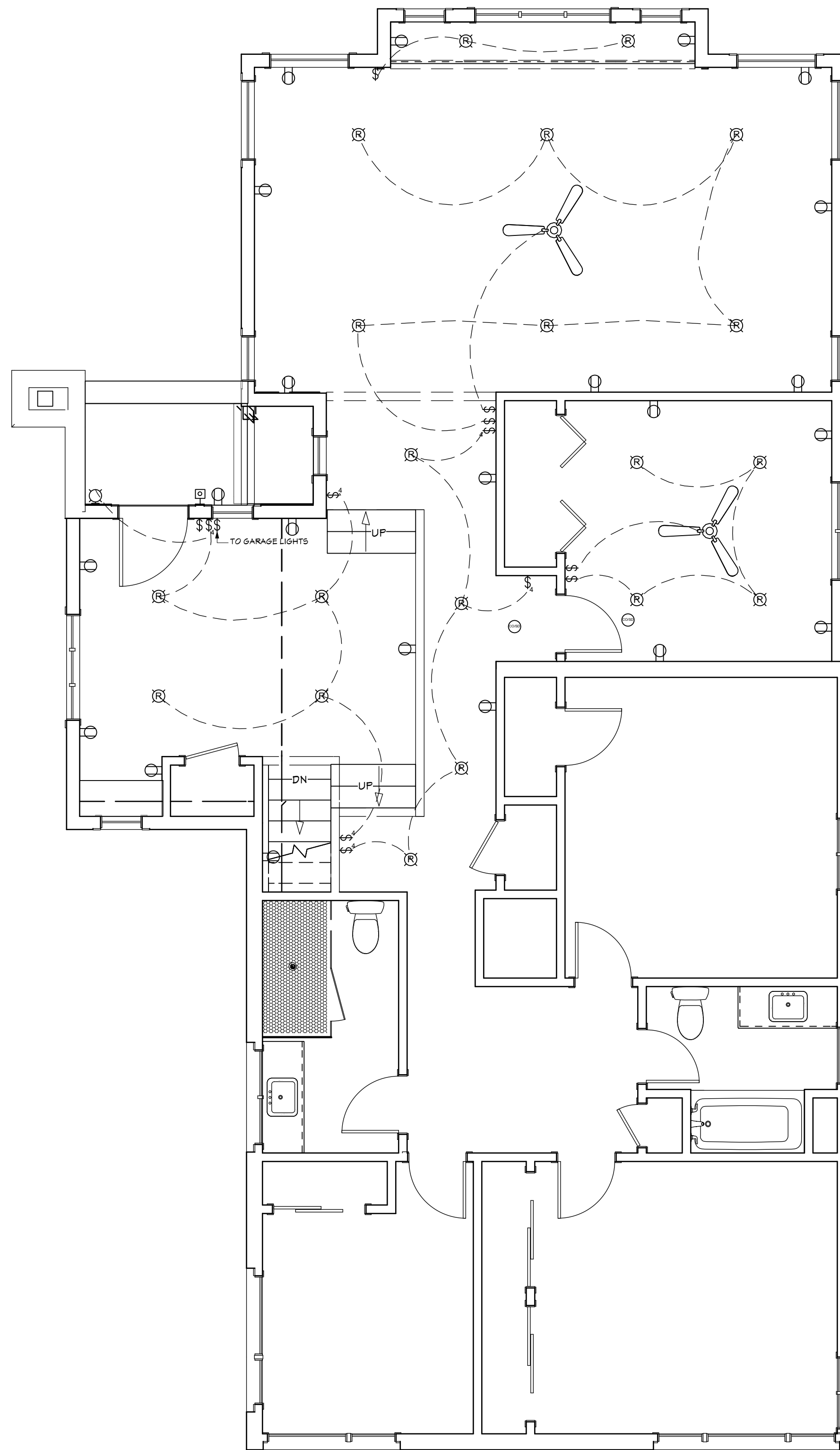
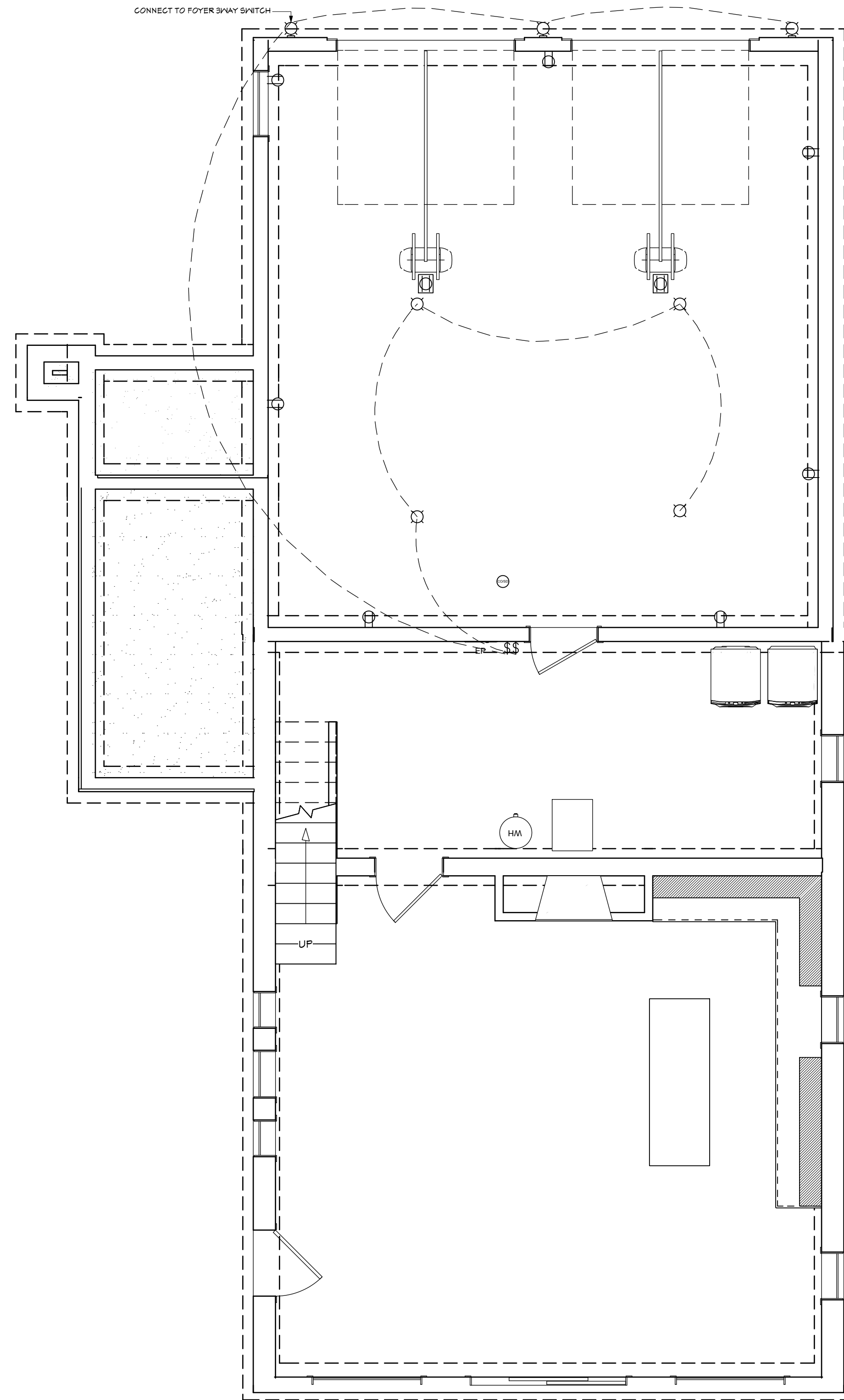
LIVING AREA SQ. FT.:

SHEET:

A3

ELECTRICAL LAYOUT PLAN

1/4" = 1'



ELECTRICAL DATA & AUDIO NOTES:
HOME OWNER SHALL DO A WALK THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR/CARBON MONOXIDE SENSOR IN EACH BEDROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT CO-SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT CO-SMOKE DETECTORS SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:
1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN. RUN CIRCUIT OR SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
3. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA / CABLE PANELS SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY HOME OWNER.

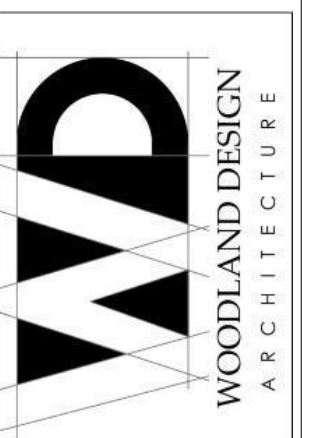
ELECTRICAL - DATA - AUDIO LEGEND		
SYMBOL	DESCRIPTION	SPECIFICATIONS
	Ceiling Fan	
	Ventilation Fans: Ceiling Mounted, Wall Mounted	
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamps, Low Voltage	80" = Broom Glass Pendant/7" AFF HAP = Hi Bay Audio/Pendant/2" AFF
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce	
	Chandelier Light Fixture	
	Fluorescent Light Fixture	24x48" Parabolic Fluorescent Fixture
	240V Receptacle	Located 12" AFF Except Where Noted
	110V Receptacles: Duplex, Weather Proof, GFCI	Located 12" AFF Except Where Noted
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way	
	Switches: Dimmer, Timer	
	Audio Video Control Panel, Switch	AV Control Panel @ 8" AFF in closet
	Speakers: Ceiling Mounted, Wall Mounted	SP located between 9" - 10" AFF
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable	Located 12" AFF Except Where Noted
	Telephone Jack	Located 12" AFF Except Where Noted
	Intercom	
	Thermostat	
	Door Chime, Door Bell Button	
	Smoke Detectors: Ceiling Mounted, Wall Mounted	
	Electrical Breaker Panel	

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REMODELING PROJECT FOR:
CAMERON AND JESSICA SIGECAN
143 WILDWOOD AVE
BIRCHWOOD VILLAGE, MN 55110

CONTRACTOR OF RECORD:
TBD

WOODLAND DESIGN LLC
LAKE ELMO, MN
woodland@ustfamily.net
Phone: 651/472-6032



INITIAL DESIGN DATE:
11/30/2020

CURRENT DATE:
7/8/2021

SCALE:
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DRAWING SHEET SIZE:
ARCH D (24" x 36")

LIVING AREA SQ. FT.:

SHEET:

A6

	A	B	N	O	P	Q	R	
1	City of Birchwood Village Revenue and Expenditure Trends							
2			2017	2018	2019	2020	2021	
3								
4	RECEIPTS							
5	General Property Taxes (levy)		\$326,299.00	\$354,500.00	\$364,000.00	\$488,500.00	\$512,000.00	
43	NON-LEVY REVENUE		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
44	ALL REVENUE - including levy		\$326,299.00	\$354,500.00	\$364,000.00	\$488,500.00	\$512,000.00	
45	TOTAL REVENUES		\$326,299.00	\$354,500.00	\$364,000.00	\$488,500.00	\$512,000.00	
46								
47	DISBURSEMENTS							
48			2017	2018	2019	2020	2021	
49	GENERAL GOVERNMENT							
50	Publishing							
51	Printing and Binding (City Codes)	100-41130-350	\$80.00	\$0.00	\$0.00	\$500.00	\$500.00	
52	Legal Notice Publication (WBP)	100-41130-351	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	
53	Subtotal Publication		\$2,080.00	\$2,000.00	\$2,000.00	\$2,500.00	\$2,500.00	
54	City Council							
55	Wages and Salaries	100-41310-100	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$8,500.00	
56	Employer Cont.-Retirement	100-41310-121		\$195.00	\$195.00	\$195.00	\$200.00	
58	Medicare - Employer	100-41401-100		\$57.00	\$57.00	\$57.00	\$130.00	
59	Social Security Employer	100-41401-100		\$242.00	\$242.00	\$242.00	\$530.00	
62	City Council Subtotal		\$3,900.00	\$4,394.00	\$4,394.00	\$4,394.00	\$9,360.00	
63	Clerk							
64	Wages and Salaries	100-41401-100	\$65,000.00	\$65,000.00	\$66,500.00	\$68,163.00	\$55,000.00	
67	Employer Cont.-Retirement	100-41401-121		\$9,100.00	\$5,000.00	\$5,000.00	\$4,200.00	
69	Medicare - Employer	100-41401-100		\$943.00	\$960.00	\$1,200.00	\$850.00	
70	Social Security Employer	100-41401-100		\$4,030.00	\$4,100.00	\$4,800.00	\$3,500.00	
73	Other Pay (insurance stipend)	100-41401-100		\$6,000.00	\$6,000.00	\$6,216.00	\$0.00	
76	Accounting (Treasurer-Deputy Clerk)							
77	Wages and Salaries	100-41401-100	\$5,000.00	\$7,128.00	\$8,640.00	\$7,344.00	\$29,815.00	
78	Employer Cont.-Retirement	100-41401-121		\$1,000.00	\$700.00	\$600.00	\$2,640.00	
79	Medicare - Employer	100-41401-100		\$105.00	\$200.00	\$150.00	\$515.00	
80	Social Security Employer	100-41401-100		\$448.00	\$700.00	\$600.00	\$2,200.00	
81	Contracted Services (SAV bank rec.)	100-41501-314					\$2,400.00	
84	Office Support							
85	Wages and Salaries	100-41401-100			\$1,000.00	\$1,000.00	\$1,000.00	
86	Medicare - Employer	100-41401-100			\$15.00	\$15.00	\$15.00	
87	Social Security Employer	100-41401-100			\$60.00	\$60.00	\$62.00	
88	Admin. Staff Subtotal		\$70,000.00	\$93,754.00	\$93,875.00	\$95,148.00	\$102,197.00	

	A	B	N	O	P	Q	R
89	Elections						
90	Wages and Salaries	100-41410-100	\$1,750.00	\$1,750.00	\$1,750.00	\$1,750.00	\$0.00
91	Operating Supplies	100-41410-210	\$125.00	\$125.00	\$125.00	\$125.00	\$0.00
92	Contracted Services (Wash. Cty. JPA)	100-41410-314					\$4,750.00
93	Repair & Maint. Supplies	100-41410-220	\$500.00	\$500.00	\$500.00	\$500.00	\$1,140.00
95	Legal Notice Publication	100-41410-351	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00
96	Elections Subtotal		\$2,575.00	\$2,575.00	\$2,575.00	\$2,575.00	\$6,090.00
97	Office Supplies						
98	Office Supplies	100-41911-200	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00
101	Office Equipment	100-41911-230	\$800.00	\$800.00	\$800.00	\$800.00	\$0.00
103	Contracted Services (Toshiba)	100-41911-314	\$375.00	\$625.00	\$625.00	\$625.00	\$625.00
104	Postage/Postal Permits						
105	Office Supplies	100-41430-200	\$650.00	\$200.00	Non Levy	Non Levy	Non Levy
107	Office Operations Subtotal		\$3,825.00	\$3,625.00	\$3,425.00	\$3,425.00	\$2,625.00
108	Financial Administration						
110	Fees (banking)	100-41501-437	\$400.00	\$400.00	\$400.00	\$400.00	\$400.00
111	Subtotal		\$400.00	\$400.00	\$400.00	\$400.00	\$400.00
112	Insurance - City						
113	Insurance						
114	Packaged Liability (incl. gen. liab.)	100-41945-361	\$6,100.00	\$5,499.00	\$5,400.00	\$5,200.00	\$6,200.00
115	Property Insurance	100-41945-362	\$2,400.00				
116	Worker's Comp (for employees & contractors per audit)	100-41945-150	\$1,600.00	\$2,159.00	\$2,500.00	\$2,526.00	\$2,663.00
118	Excess Liability	100-41945-369	\$1,000.00	\$855.00	\$855.00	\$855.00	\$855.00
121	Insurance Subtotal		\$11,250.00	\$8,513.00	\$8,755.00	\$8,581.00	\$9,718.00
122	Assessing						
123	Contracted Services	100-41550-314	\$5,450.00	\$6,300.00	\$6,200.00	\$6,352.00	\$5,550.00
124	Legal Services						
125	Professional Services	100-41601-300	\$7,000.00	\$18,000.00	\$18,000.00	\$18,000.00	\$18,000.00
126	Engineer Service						
127	Professional Services	100-41650-300	\$7,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$7,000.00
132	Planning & Zoning	100-41910-314	\$0.00				
133	Services Subtotal		\$19,950.00	\$29,800.00	\$29,200.00	\$29,352.00	\$30,550.00
134	City Training & Development						
135	Training (Admin & Council)	100-41914-310		\$2,005.00	\$2,500.00	\$3,500.00	\$3,000.00
136	Travel & Subsistence (Admin trainings)	100-41914-334		\$600.00	\$1,200.00	\$1,200.00	
137	Dues & Subscriptions (LMC memberships, etc.)	100-41914-433	\$1,040.00	\$215.00	\$220.00	\$1,300.00	\$1,040.00
139	Grants - Counseling Center (NYFS)	100-41905-438	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00
140	T & D Subtotal		\$3,040.00	\$4,820.00	\$5,920.00	\$8,000.00	\$6,040.00

	A	B	N	O	P	Q	R
141	City Hall-Gov't Buildings						
142	Repair, Operating & Maint. Supplies	100-41940-220	\$500.00	\$500.00	\$765.00	\$765.00	\$765.00
144	Contracted Services (janitorial)	100-41940-314	\$600.00	\$750.00	\$1,000.00	\$1,000.00	\$1,000.00
146	Utility Services	100-41940-380	\$4,500.00	\$3,500.00	\$3,500.00	\$3,500.00	\$3,500.00
147	Buildings & Structures	100-41940-520					
148	I.T./Internet/Telephone (Metro-INET & GovOffice)	100-41940-320	\$5,200.00	\$6,000.00	\$6,250.00	\$6,250.00	\$9,100.00
149	Gov't Bldgs Subtotal		\$10,800.00	\$10,750.00	\$11,515.00	\$11,515.00	\$14,365.00
150	Cable Eqpmt and Service						
151	Contracted Services (videographer)	100-41950-314					
152	Communication	100-41950-320					
157	Communication Subtotal		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
158	TOTAL Gen Government		\$127,820.00	\$160,631.00	\$162,059.00	\$165,890.00	\$183,845.00
159	PUBLIC SAFETY						
160	Police						
161	Contracted Services	100-42101-314	\$52,000.00	\$53,000.00	\$57,600.00	\$59,500.00	\$63,500.00
162	Fire						
163	Contracted Services	100-42201-314	\$20,000.00	\$21,139.00	\$22,000.00	\$29,715.00	\$29,545.00
164	Building Inspection (non levy)						
166	Contracted Services	100-42401-314	Non Levy	Non Levy	Non Levy	Non Levy	Non Levy
167	Fees (variance, cond.use permits)	100-42401-437	\$100.00	\$500.00	Non Levy	Non Levy	Non Levy
168	Other Protection						
169	Contracted Services (Code Red)	100-42801-314	\$150.00	\$100.00	\$100.00	\$100.00	\$100.00
172	Animal Control	100-41916-314	\$1,000.00	\$900.00	\$900.00	\$1,000.00	\$1,000.00
176	PUBLIC SAFETY TOTAL		\$73,250.00	\$75,639.00	\$80,600.00	\$90,315.00	\$94,145.00
177	PUBLIC WORKS						
180	Highways, Streets & Roadways						
181	Repair & Maint. Supplies	100-43101-220	\$1,000.00	\$500.00	\$500.00		
182	Contracted Services (Pot Holes)	100-43101-314	\$5,000.00	\$3,000.00	\$5,500.00	\$6,000.00	\$6,000.00
183	Street Sweeping	100-43103-314	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00
187	Street Maintenance Subtotal		\$10,000.00	\$7,500.00	\$10,000.00	\$10,000.00	\$10,000.00
188	Street Lights						
189	Utility Services	100-43160-380	\$18,000.00	\$19,000.00	\$16,000.00	\$16,000.00	\$15,000.00
190	Drainage - Structure Care						
192	Contracted Services (sewer cleanout - Schifsky's)	100-43150-314	\$1,600.00	\$1,600.00	\$2,000.00	\$2,000.00	\$2,000.00
193	Fees (mpca)	100-43150-437	\$400.00	\$400.00	\$400.00	\$400.00	\$400.00
194	Subtotal		\$2,000.00	\$2,000.00	\$2,400.00	\$2,400.00	\$2,400.00
195	Ice and Snow Removal						
196	Operating Supplies (salt, sand)	100-43125-210	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00
197	Contracted Services (Birch)	100-43125-314	\$11,000.00	\$10,000.00	\$10,000.00	\$17,000.00	\$17,000.00
198	Snow & Ice Subtotal		\$16,000.00	\$15,000.00	\$15,000.00	\$22,000.00	\$22,000.00

	A	B	N	O	P	Q	R
199	Water Utility						
200	Refunds & Reimbursements	100-43180-810				Non Levy	Non Levy
201	Sewer Utility						
202	Refunds & Reimbursements	100-43190-810				Non Levy	Non Levy
204	TOTAL - Public Works		\$46,000.00	\$43,500.00	\$43,400.00	\$50,400.00	\$49,400.00
205	CULTURE & RECREATION						
206	Recreation						
208	Dues & Subscriptions (WBLCD)	100-45101-433	\$200.00	Non Levy	Non Levy	Non Levy	Non Levy
209	Community Events (Volunteer Recognition)	210-45101-440	\$1,500.00	Non Levy	Non Levy	Non Levy	Non Levy
210	TOTAL Recreation		\$1,700.00	\$0.00	\$0.00	\$0.00	\$0.00
211	Parks						
212	Wages and Salaries	100-45207-100	\$10,000.00	\$10,000.00	\$20,000.00	\$21,500.00	\$21,500.00
213	Employer Cont.-Retirement	100-45207-121			\$1,560.00	\$850.00	\$850.00
217	Medicare - Employer	100-41401-100		\$70.00	\$450.00	\$450.00	\$450.00
218	Social Security - Employer	100-41401-100		\$300.00	\$1,780.00	\$1,780.00	\$1,780.00
222	Operating Supplies	100-45207-210					
223	Repair & Maint. Supply/Contractual	100-45207-400	\$500.00	\$600.00	\$1,500.00	\$1,500.00	\$2,000.00
225	Contracted Services (porta potty)	100-45207-314	\$2,000.00	\$3,000.00	\$2,500.00	\$2,500.00	\$2,500.00
226	Utility Services	100-45207-380	\$1,000.00	\$600.00	\$800.00	\$800.00	\$800.00
227	Fees	100-45207-530					
232	Projects			\$1,000.00	\$0.00	\$0.00	
233	Parks GF Subtotal		\$13,500.00	\$15,570.00	\$28,590.00	\$29,380.00	\$29,880.00
234	TOTAL Parks & Recreation		\$15,200.00	\$15,570.00	\$28,590.00	\$29,380.00	\$29,880.00
235	SANITATION						
236	Tree Care - Inspection & Removal						
237	Contracted Services (tree inspector)	100-43104-314		\$500.00	\$1,300.00	\$1,300.00	\$1,300.00
238	Tree Removal						
239	Operating Supplies	100-43135-210					
241	Contracted Services	100-43135-314	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00
242	Sanitation - Recycling						
243	Contracted Services (Tennis Sanitation)	100-43300-314	\$10,000.00	\$10,000.00	\$10,000.00	\$12,200.00	\$14,500.00
245	Lawn Care/Maintenance						
246	Contracted Services	100-45208-100	\$10,000.00	\$9,000.00	\$0.00	\$0.00	\$0.00
248	TOTAL - Sanitation		\$25,000.00	\$24,500.00	\$16,300.00	\$18,500.00	\$20,800.00
249	CONSERVATION - NATURAL RESOURCE						
250	Fees, Dues & Subscriptions (WBLCD)	100-46101-437	\$1,885.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00
252	TOTAL - Conservation		\$1,885.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00

	A	B	N	O	P	Q	R
253	UNALLOCATED EXPENDITURES						
258	Miscellaneous	100-49201-430	\$7,144.00	\$2,660.00	\$1,051.00	\$2,015.00	\$1,930.00
262	Transfer to Capital Projects Fund	100-49360-722	\$30,000.00	\$30,000.00	\$30,000.00	\$30,000.00	\$30,000.00
263	Sewer L/S 1 Project	100-49365-530				\$100,000.00	\$100,000.00
265	TOTAL - Other Unallocated		\$37,144.00	\$32,660.00	\$31,051.00	\$132,015.00	\$131,930.00
266	TOTAL OPERATING EXPENDITURES (DISBURSEMENTS)		\$326,299.00	\$354,500.00	\$364,000.00	\$488,500.00	\$512,000.00
267							
268							
269					<u>2019</u>	<u>2020</u>	<u>2021</u>
270	Levy				\$ 364,000	\$ 488,500	\$ 512,000
271	Proposed \$\$ Change				\$ 9,500	\$ 124,500	\$ 23,500
272	Proposed % Change				2.68%	34.20%	4.81%

CONTRACT FOR GOODS/SERVICES

City of Birchwood Village (City), a political subdivision of the State of Minnesota is in need of services and/or goods (hereinafter “services) and Metro Bowhunters Resource Base, Inc., (MBRB), 7455 France Avenue South Box #409, Edina, MN 55435 (Contractor) desires to provide such services.

NOW, THEREFORE, in consideration of the mutual promises and agreements contained herein the parties enter in to this Contract and agree as follows:

1. TERM. The term of this Contract is from the date of execution by all parties through December 31, 2025, or until all work under this Contract is completed and payments made, which ever occurs first, unless earlier terminated by law or according to the provisions of this Contract.
2. SCOPE OF SERVICES. The City requests and the Contractor agrees to provide the services that are attached and incorporated as Exhibit A. If there is a conflict between this Contract and Exhibit A, this Contract shall govern. Services provided under this Agreement will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the Contractor’s occupation performing services under similar conditions.
3. PAYMENT. The City agrees to pay for the services, including expenses in an amount not to exceed \$ _____ (Contract Maximum), and in accordance with payment rates or schedule set forth in the Exhibit(s). The City will reimburse MBRB for the cost to list the City as an additional insured party on its insurance policy for these services.
4. CUSTOMER LIAISON. Contractor shall work closely with the City’s liaison, Andy Gonyou, City Administrator, contact number 651-426-3403.
5. GENERAL CONDITIONS. The General Conditions of this Contract also known as 2021 - 2025 Birchwood Village Special Archery Deer Hunt Rules are attached and incorporated as Exhibit B. Item 2 of 2021 – 2025 Birchwood Village Special Archery Deer Hunt Rules will be amended annually and will require annual adoption by both parties.
6. INDEMNIFICATION. Contractor agrees to indemnify and save harmless City of Birchwood Village from any and all losses, fines, suits, damages, expenses, claims, demands, and actions of any kind resulting from Contractor’s negligence or alleged negligence. Contractor shall provide proof that the City of Birchwood has been added to their DEC page as an additional insured prior to providing any services pursuant to this Contract and annual verification of the same for the duration of this Agreement.
7. TERMINATION. Either party may suspend or terminate this Agreement for a material breach of any term of the Agreement with 30-days notice. Either party may suspend or terminate this Agreement for any reason upon 90-days notice. In the event of suspension, the Parties agree to meet and confer to determine if the reason for the suspension can be cured and upon subsequent agreement the suspending-party may withdraw the suspension and proceed with the Agreement either as written or amended, depending on the outcome of the discussions.
8. ENTIRE AGREEMENT. This Contract is the final expression of the agreement of the parties and the complete and exclusive statement of the terms agreed upon.

IN WITNESS WHEREOF, the parties hereto have executed this Contract on the 11th day of August, 2021.

METRO BOWHUNTERS RESOURCE BASE

CITY OF BIRCHWOOD VILLAGE

By: _____

By: _____

Mary Wingfield, Mayor

Print Name: _____

Title: _____

Telephone: _____

By: _____

Andy Gonyou, City Administrator

EXHIBIT A

**Scope of Services
2021 - 2025 Deer Management Program**

Dated: July 28, 2021

Metro Bowhunters Resource Base (MBRB) is to provide hunt management services as delineated below or as would be necessary to help the City achieve its goal of a reduction in deer population while recognizing the need to maintain a high degree of professionalism and sensitivity to public concerns associated with deer hunting.

MBRB Activities:

- Provide a group of MBRB qualified archers
- Provide certificate of liability insurance with the City named as an “additional insured” covering a period from September 1, 2021 through December 31, 2021, renewed annually
- Assist City staff at Hunt Orientation Check-in and Meeting on date to be determined.
- Conduct deer hunting on the following (tentative) dates in calendar year 2021: September 24-26, October 14 - 16, and November 04- 06. New dates for each calendar year between years 2022 – 2025 will be decided and mutually agreed upon by both parties by July 31st of each calendar year.
- Gather hunt data from each participant each day consisting of the number of deer taken by sex and location and the number of unrecovered deer.
- Provide City a verbal report on hunt progress and issues as needed no later than 24 hours following the conclusion of each hunt period.
- Administer hunt in accordance with hunt rules and other procedures necessary for a safe and orderly hunt.
- Assist in tracking and recovery of deer that are reported hit by archers.
- Remove all entrails.
- Provide liaison with the City and the Washington County Sheriff’s Department so that there is one point of contact for all hunting activities.
- Report rule infractions and other pertinent incidents (such as unauthorized hunt area visitors) to City and Washington County Sheriff’s Department.
- Comply with the Hunt Rules as attached to this document.
- Send final summary report of hunt data to City staff by December 31 of the calendar year in which the hunts take place.

EXHIBIT B

2021 BIRCHWOOD VILLAGE SPECIAL ARCHERY DEER HUNT RULES

- 1) Deer hunt locations are limited to the areas as identified. Hours are limited to 1/2 hour before dawn and 1/2 hour after dusk.
- 2) Hunts are conducted using sharpshooter status MBRB archers and are held during the following dates in calendar year 2021: **Sept. 24-26, Oct. 14-16, and Nov. 04-06**. Tree stands can be erected one day preceding the hunt.
- 3) All hunters are selected through the Metro Bowhunters Resource Base (MBRB).
- 4) Hunters must follow all Minnesota DNR laws and all MBRB special rules.
- 5) All hunt periods are only for antler less deer.
- 6) Hunters must carry a hunt authorization letter from the City at all times during hunt.
- 7) Hunt areas are not closed to the public during the hunt. All incidents of trespass on private property should be reported to the MBRB hunt coordinator who will contact the Washington County Sheriff.
- 8) All archers must hunt from elevated stands. Only TMA approved stands/steps are acceptable. Use of any homemade stands/steps is prohibited for safety reasons.
- 9) Hunters must have a flashlight and a warning whistle within easy reach during entry, egress, and while on stand. A cell phone is also recommended.
- 10) A five-point fall restraint harness is required to be used by hunters at all times while on stand.
- 11) Only buckthorn can be cut for shooting lanes.
- 12) Stands can only be up during the designated hunt periods and must be removed from the area at the completion of each hunt by one (1) hour after legal shooting time on the final evenings of each hunt period.
- 13) Archers are to obey hunt boundaries shown on the map.
- 14) Archers must park in designated areas only.
- 15) Cars must have a City supplied parking permit properly displayed.
- 16) Only deer may be taken during special hunts.
- 17) All entrails must be removed.
- 18) Hunters must log in and out of the hunt areas each time they leave. The MBRB Hunt Coordinator will provide a log in sheet at an appropriate location.
- 19) Archers cannot track deer outside of hunt boundaries. Hunters must contact the MBRB hunt coordinator if deer retrieval is required outside of hunt boundaries.

For the Period : 7/13/2021 To 8/6/2021

<u>Name of Fund</u>	<u>Beginning Balance</u>	<u>Total Receipts</u>	<u>Total Disbursed</u>	<u>Ending Balance</u>
General Fund	\$288,461.69	\$8,106.61	\$62,803.20	\$233,765.10
Road and Bridge	\$0.00	\$0.00	\$0.00	\$0.00
Other Federal Programs	\$0.00	\$0.00	\$0.00	\$0.00
Comp Plan Grant	(\$4,040.00)	\$0.00	\$0.00	(\$4,040.00)
Tree Canopy Care	\$0.00	\$0.00	\$0.00	\$0.00
Special Rev Projects	\$34,825.69	\$0.00	\$1,100.00	\$33,725.69
Spec Rev - Warm House	\$40.00	\$0.00	\$0.00	\$40.00
REIMBURSED CONTRACTED SERVICES	\$0.00	\$0.00	\$0.00	\$0.00
General Debt Service (Identify) (Inactive)	\$0.00	\$0.00	\$0.00	\$0.00
Birchwood In Re-hab Bond	\$0.00	\$0.00	\$0.00	\$0.00
Sewer Re-hab Debt	\$2,119.89	\$0.00	\$0.00	\$2,119.89
CAPITAL PROJECT FUNDS (401 through 499)	\$0.00	\$0.00	\$0.00	\$0.00
General Capital Projects	\$0.00	\$0.00	\$0.00	\$0.00
Municipal State Aid Streets - Construction (Inactive)	\$0.00	\$0.00	\$0.00	\$0.00
Capital Project PW	\$123,615.31	\$0.00	\$0.00	\$123,615.31
Water	\$20,567.38	\$0.00	\$14,261.79	\$6,305.59
Sewer	\$125,430.72	\$0.00	\$8,282.45	\$117,148.27
Transit System	\$0.00	\$0.00	\$0.00	\$0.00
Sewer Infrastructure	\$0.00	\$0.00	\$0.00	\$0.00
Water Meter Upgrade Fees	\$47,326.37	\$0.00	\$0.00	\$47,326.37
Engineering Services	\$0.00	\$0.00	\$0.00	\$0.00
Total	\$638,347.05	\$8,106.61	\$86,447.44	\$560,006.22

<u>Name of Fund</u>	August 10, 2021 Regular City Council Meeting	<u>Beginning</u> <u>Balance</u>	<u>Total</u> <u>Receipts</u>	<u>Total</u> <u>Disbursed</u>	<u>Ending</u> <u>Balance</u>	<u>Less</u> <u>Deposits</u> <u>In Transit</u>	<u>Plus</u> <u>Outstanding</u> <u>Checks</u>	<u>Total</u> <u>Per Bank</u> <u>Statement</u>
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Jonathan E Fleck	City Council/Town Board				Date			
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Justin R. McCarthy	City Council/Town Board				Date			
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Kevin L Woolstencroft	City Council/Town Board				Date			
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Mary Wingfield	City Council/Town Board, Mayor				Date			
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Robert Mark Foster	City Council/Town Board				Date			
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Fund Name: All Funds

Date Range: 07/13/2021 To 08/06/2021

<u>Date</u>	<u>Vendor</u>	<u>Check #</u>	<u>Description</u>	<u>Void</u>	<u>Account Name</u>	<u>F-A-O-P</u>	<u>Total</u>
07/13/2021	IRS - US Treasury	EFT071321A	Federal Taxes - Q2 2021 - June Payment	N	Clerk - Treasurer	100-41401-100-	\$ 950.52
		EFT071321A				100-41401-100-	\$ 222.30
		EFT071321A				100-41401-100-	\$ 420.27
	Total For Check	EFT071321A					\$ 1,593.09
07/15/2021	LMCIT	31480*	Worker's Comp Premium 6/2021-6/2022	N	City Insurance	100-41945-150-	\$ 3,069.00
	Total For Check	31480					\$ 3,069.00
07/17/2021	Payroll Period Ending 06/30/2021	31481	Maintenance - Jim Rydeen	N	Parks	100-45207-100-	\$ 1,730.42
	Total For Check	31481					\$ 1,730.42
07/22/2021	Payroll Period Ending 07/16/2021	31483*	Deputy Clerk	N	Clerk - Treasurer	100-41401-100-	\$ 553.56
	Total For Check	31483					\$ 553.56
07/22/2021	Payroll Period Ending 07/16/2021	31484*	City Clerk	N	Clerk - Treasurer	100-41401-100-	\$ 1,217.25
	Total For Check	31484					\$ 1,217.25
07/22/2021	Wingfield, Mary	31485*	Reimbursement - Community Club Dues	N	MISCELLANEOUS	100-49001-430-	\$ 10.00
	Total For Check	31485					\$ 10.00
07/23/2021	Pelco Construction , LLC	31486*	Village Hall siding and window restoration	N	Unallocated Expenditures	100-49201-430-	\$ 10,800.00
	Total For Check	31486					\$ 10,800.00
07/23/2021	Manship Plumbing & Heating Inc	31487	Standby- June and July 2021	N	Water Utility	601-43180-314-	\$ 1,200.00
	Total For Check	31487					\$ 1,200.00
07/27/2021	City of Roseville	31488*	IT Services - July 2021	N	General Government Buildings and Plant	100-41940-320-	\$ 692.70
	Total For Check	31488					\$ 692.70
07/27/2021	Metropolitan Council - Env. Service	31489*	Wastewater Service - August 2021	N	Sewer Utility	605-43190-217-	\$ 4,988.17
	Total For Check	31489					\$ 4,988.17

Fund Name: All Funds
 August 10, 2021 Regular City Council Meeting
Date Range: 07/13/2021 To 08/06/2021

<u>Date</u>	<u>Vendor</u>	<u>Check #</u>	<u>Description</u>	<u>Void</u>	<u>Account Name</u>	<u>F-A-O-P</u>	<u>Total</u>
07/27/2021	Modern Power Solutions	31490*	Lift Station Generator Annual Service - 2021	N	Sewer Utility	605-43190-380-	\$ 471.00
	Total For Check	31490					\$ 471.00
07/27/2021	USS Minnesota One MT LLC	31491*	Energy Charges - June 2021	N	General Government Buildings and Plant	100-41940-380-	\$ 171.46
		31491*			Sewer Utility	605-43190-380-	\$ 828.70
		31491*				605-43190-380-	\$ 457.22
	Total For Check	31491					\$ 1,457.38
07/27/2021	Toshiba Business Solutions	31492*	Printer Maintenance - 07/09/2021 - 08/08/2021	N	Office Operations Supplies	100-41911-314-	\$ 10.62
	Total For Check	31492					\$ 10.62
07/27/2021	AirFresh Industries, Inc.	31493*	Portable Restroom Rental (2) - July 2021	N	Parks	100-45207-314-	\$ 162.50
	Total For Check	31493					\$ 162.50
07/27/2021	Washington County Sheriff	31494*	Police Services: Jan - June 2021	N	Police	100-42101-314-	\$ 31,592.34
	Total For Check	31494					\$ 31,592.34
07/27/2021	City of White Bear Lake	31495*	Water Billing - 03/16/2021 - 06/14/2021	N	Water Utility	601-43180-314-	\$ 12,218.38
	Total For Check	31495					\$ 12,218.38
07/27/2021	White Bear Township	31496*	Contracted Services (Maintenance)- 6/24/21	N	Sewer Utility	605-43190-314-	\$ 907.13
	Total For Check	31496					\$ 907.13
07/27/2021	Oakdale Rental	31497*	Chipper Rental- July 1	N	Parks	100-45207-400-	\$ 324.00
	Total For Check	31497					\$ 324.00
07/27/2021	Press Publications	31498*	Legal Notice Publications - July 2021	N	Ordinances and Proceedings	100-41130-351-	\$ 90.85
	Total For Check	31498					\$ 90.85
07/29/2021	Miller, Scottie	31499	Music in the Park - 07/11/2021	N	Recreation	210-45101-440-	\$ 200.00
	Total For Check	31499					\$ 200.00
07/29/2021	Jennifer Eckes	31500	Music in the Park - 07/18/2021	N	Recreation	210-45101-440-	\$ 300.00
	Total For Check	31500					\$ 300.00
07/29/2021	Don Feeney	31501	Music in the Park - 07/25/2021	N	Recreation	210-45101-440-	\$ 300.00

Fund Name: All Funds
 August 10, 2021 Regular City Council Meeting
Date Range: 07/13/2021 To 08/06/2021

<u>Date</u>	<u>Vendor</u>	<u>Check #</u>	<u>Description</u>	<u>Void</u>	<u>Account Name</u>	<u>F-A-O-P</u>	<u>Total</u>
		Total For Check	31501				\$ 300.00
07/29/2021	Brian Ogren	31502	Music in the Park - 08/01/2021	N	Recreation	210-45101-440-	\$ 300.00
		Total For Check	31502				\$ 300.00
08/02/2021	Xcel Energy	EFT, 06302021-a	Electric for Street Lights: 05/03/2021 - 06/02/2021	N	Street Lighting	100-43160-380-	\$ 1,222.73
		Total For Check	EFT, 06302021-a				\$ 1,222.73
08/02/2021	Xcel Energy	EFT, 07162021-a	Gas for L/S 2 Generator: 05-18-21-06-17-21	N	Sewer Utility	605-43190-383-	\$ 27.80
		Total For Check	EFT, 07162021-a				\$ 27.80
08/02/2021	Xcel Energy	EFT, 07162021-k	Gas for L/S 3 Generator: 05/18/2021 - 06/17/2021	N	Sewer Utility	605-43190-383-	\$ 26.78
		Total For Check	EFT, 07162021-k				\$ 26.78
08/02/2021	Xcel Energy	EFT, 07162021-c	Electric for Tower: 05/18/2021 - 06/17/2021	N	Water Utility	601-43180-381-	\$ 12.41
		Total For Check	EFT, 07162021-c				\$ 12.41
08/02/2021	Amazon	EFT, 07222021-a	Replacement Fiskars Lopper for Mary Wingfield	N	Unallocated Expenditures	100-49201-430-	\$ 47.99
		Total For Check	EFT, 07222021-a				\$ 47.99
08/02/2021	Xcel Energy	EFT, 08022021-a	Electric for Street Lights: 04/03/2021 - 05/02/2021	N	Street Lighting	100-43160-380-	\$ 1,277.22
		Total For Check	EFT, 08022021-a				\$ 1,277.22
08/03/2021	R Leeves Productions LLC	31503*	Videography - City Council Meetings	N	Cable Eqpmt and Service	100-41950-314-	\$ 109.54
		31503*				100-41950-314-	\$ 152.17
		31503*				100-41950-314-	\$ 82.50
		Total For Check	31503				\$ 344.21
08/03/2021	AirFresh Industries, Inc.	31504*	Portable Restroom Rental- 4th of July parade	N	Parks	100-45207-314-	\$ 74.96
		Total For Check	31504				\$ 74.96
08/03/2021	Manship Plumbing & Heating Inc	31505	Standby- August 2021	N	Water Utility	601-43180-314-	\$ 600.00
		Total For Check	31505				\$ 600.00
08/03/2021	Oakdale Rental	31506	Chipper Rental- July 23	N	Parks	100-45207-400-	\$ 216.00

Fund Name: All Funds
 August 10, 2021 Regular City Council Meeting
Date Range: 07/13/2021 To 08/06/2021

<u>Date</u>	<u>Vendor</u>	<u>Check #</u>	<u>Description</u>	<u>Void</u>	<u>Account Name</u>	<u>F-A-O-P</u>	<u>Total</u>
		Total For Check	31506				\$ 216.00
08/03/2021	White Bear Rental	31507	Chipper 7/30/21	N	Parks	100-45207-400-	\$ 238.70
		Total For Check	31507				\$ 238.70
08/03/2021	H.A. Kantrud, P.A.	31508	Attorney Services - July 2021	N	Legal Services	100-41601-300-	\$ 1,500.00
		Total For Check	31508				\$ 1,500.00
08/03/2021	Cahill, Mark	31509*	chain, lock & hasp for donated locked box @ Bloomquist Park for Pickleball storage	N	Parks	100-45207-400-	\$ 24.34
		Total For Check	31509				\$ 24.34
08/03/2021	City of White Bear Lake	31510*	Fire Services- July 2021	N	Fire	100-42201-314-	\$ 2,445.58
		Total For Check	31510				\$ 2,445.58
08/03/2021	Payroll Period Ending 07/31/2021	31511	James Rydeen	N	Parks	100-45207-100-	\$ 1,247.81
		Total For Check	31511				\$ 1,247.81
08/03/2021	Payroll Period Ending 07/31/2021	31512	Deputy Clerk- Jackie Smith	N	Clerk - Treasurer	100-41401-100-	\$ 670.60
		Total For Check	31512				\$ 670.60
08/05/2021	Wingfield, Mary	31513*	Reimbursement - Stamps and duplicate key	N	MISCELLANEOUS	100-49001-430-	\$ 5.00
		31513*			Postage/Postal Permits	601-41430-810-	\$ 231.00
		31513*				605-41430-810-	\$ 550.00
		Total For Check	31513				\$ 786.00
08/05/2021	Andrew Gonyou	31514*	Reimbursement - Zoom, IRS tax tracking	N	Unallocated Expenditures	100-49201-430-	\$ 16.06
		31514*				100-49201-430-	\$ 4.35
		Total For Check	31514				\$ 20.41
08/05/2021	Gopher State One Call	31515*	billable tickets 19	N	Utility Locates	605-42805-314-	\$ 25.65
		Total For Check	31515				\$ 25.65
08/05/2021	Companion Animal Control LLC	31516*	Animal Control Services - July 2021	N	Animal Control	100-41916-314-	\$ 80.00
		Total For Check	31516				\$ 80.00
08/05/2021	Press Publications	31517*	Legal Notice Publications - July 2021	N	Ordinances and Proceedings	100-41130-351-	\$ 63.59

Fund Name: All Funds
 August 10, 2021 Regular City Council Meeting
Date Range: 07/13/2021 To 08/06/2021

<u>Date</u>	<u>Vendor</u>	<u>Check #</u>	<u>Description</u>	<u>Void</u>	<u>Account Name</u>	<u>F-A-O-P</u>	<u>Total</u>
		Total For Check	31517				\$ 63.59
08/05/2021	Payroll Period Ending 07/31/2021	31518	Administrator/Clerk- Andy Gonyou	N	Clerk - Treasurer	100-41401-100-	\$ 1,217.25
		Total For Check	31518				\$ 1,217.25
08/05/2021	Payroll Period Ending 07/31/2021	31519	Assistant Treasurer- Mary Cahill	N	Clerk - Treasurer	100-41401-100-	\$ 89.02
		Total For Check	31519				\$ 89.02
Total For Selected Checks							\$ 86,447.44

Fund Name: All Funds

Date Range: 07/13/2021 To 08/06/2021

<u>Date</u>	<u>Remitter</u>	<u>Receipt #</u>	<u>Description</u>	<u>Deposit ID</u>	<u>Void</u>	<u>Account Name</u>	<u>F-A-P</u>	<u>Total</u>
07/15/2021	Nancy Centraire Heating	171735168*	Permit	(07/15/2021) -	N	Building Permits	100-32211-	\$ 92.50
								\$ 92.50
07/23/2021	Karleen Corliss	171735157*	Kayak Rental	(07/22/2021) -	N	Kayak/Canoe Permits	100-32212-	\$ 60.00
								\$ 60.00
07/23/2021	Rachel Schuler	171735158*	Kayak Rental	(07/22/2021) -	N	Building Permits	100-32211-	\$ 30.00
								\$ 30.00
07/23/2021	Dwight Dupey	171735159*	Canoe Permit	(07/22/2021) -	N	Kayak/Canoe Permits	100-32212-	\$ 30.00
								\$ 30.00
07/23/2021	Nancy Calderon	171735160*	Building Permit	(07/22/2021) -	N	Building Permits	100-32211-	\$ 128.25
								\$ 128.25
07/23/2021	James Hogenson	171735161*	Copies	(07/23/2021) -	N	General Governemnt	100-34111-	\$ 5.00
								\$ 5.00
07/23/2021	Layne Lodmell	171735162*	bell tower donation	(07/23/2021) -	N	Contributions and Donations from Private Sources	100-36230-	\$ 100.00
								\$ 100.00
07/23/2021	Susan Schway	171735163*	Bell Tower Donation and Community Club Dues	(07/23/2021) -	N	Contributions and Donations from Private Sources	100-36230-	\$ 110.00
								\$ 110.00
07/23/2021	Aquarius Water Conditioning	171735164*	Permit	(07/23/2021) -	N	LICENSES AND PERMITS	100-32001-	\$ 37.00
								\$ 37.00
07/23/2021	Hoffman-Weber Construction, Inc	171735165*	Permit	(07/23/2021) -	N	LICENSES AND PERMITS	100-32001-	\$ 142.45
								\$ 142.45

Fund Name: All Funds
 August 10, 2021 Regular City Council Meeting
Date Range: 07/13/2021 To 08/06/2021

<u>Date</u>	<u>Remitter</u>	<u>Receipt #</u>	<u>Description</u>	<u>Deposit ID</u>	<u>Void</u>	<u>Account Name</u>	<u>F-A-P</u>	<u>Total</u>
07/23/2021	Ramsey/Washington Cable Commission	171735166*	Cable Franchise Fee Redistribution Payment - 2021	(07/23/2021) -	N	Refund-Reimbursemnt-Dividend	100-36240-	\$ 6,700.73
								\$ 6,700.73
07/23/2021	Patricia Trepanier	171735167*	Bell Tower Donation	(07/23/2021) -	N	Contributions and Donations from Private Sources	100-36230-	\$ 100.00
								\$ 100.00
08/04/2021	Keri Pakonen	171735176*	Animal License fee	(08/04/2021) -	N	Animal Licenses	100-32240-	\$ 10.00
								\$ 10.00
08/04/2021	Richard Galena	171735177*	Bell Tower Donation	(08/04/2021) -	N	Contributions and Donations from Private Sources	100-36230-	\$ 50.00
								\$ 50.00
08/04/2021	Mary Rollinger	171735178*	Animal License	(08/04/2021) -	N	Animal Licenses	100-32240-	\$ 10.00
								\$ 10.00
08/04/2021	Cory Yemen	171735179*	Canoe/Kayak	(08/04/2021) -	N	Kayak/Canoe Permits	100-32212-	\$ 30.00
								\$ 30.00
08/04/2021	Sela Roofing & Remodeling	171735180*	Building Permit	(08/04/2021) -	N	Building Permits	100-32211-	\$ 99.23
								\$ 99.23
08/04/2021	Walker Roofing	171735181*	Building Permit	(08/04/2021) -	N	Building Permits	100-32211-	\$ 258.57
								\$ 258.57
08/04/2021	Fireside Hearth and Home Retail Per	171735182*	Building Permit	(08/04/2021) -	N	Building Permits	100-32211-	\$ 112.88
								\$ 112.88
Total for Selected Receipts								\$ 8,106.61

As on 8/6/2021

Special Rev Projects

	<u>Budget</u>	<u>Actual</u>	<u>Variance</u>
Receipts:			
Dock/Lift Permit Fee	0.00	16,500.00	16,500.00
Total Acct 322	0.00	16,500.00	16,500.00
Total Revenues	0.00	16,500.00	16,500.00
Other Financing Sources:			
Total Other Financing Sources	0.00	0.00	0.00
Disbursements:			
Recreation			
Community Events	0.00	2,000.00	(2,000.00)
Total Acct 451	0.00	2,000.00	(2,000.00)
Total Disbursements	0.00	2,000.00	(2,000.00)
Other Financing Uses:			
Transfer To Governmental Fund			
Interfund Transfers	0.00	5,000.00	(5,000.00)
Total Acct 493	0.00	5,000.00	(5,000.00)
Total Other Financing Uses	0.00	5,000.00	(5,000.00)
Beginning Cash Balance		24,225.69	
Total Receipts and Other Financing Sources		16,500.00	
Total Disbursements and Other Financing Uses		7,000.00	
Cash Balance as of 08/06/2021		33,725.69	

As on 8/6/2021

Capital Project PW

	<u>Budget</u>	<u>Actual</u>	<u>Variance</u>
Receipts:			
Total Revenues	0.00	0.00	0.00
Other Financing Sources:			
Total Other Financing Sources	0.00	0.00	0.00
Disbursements:			
Total Disbursements	0.00	0.00	0.00
Other Financing Uses:			
Total Other Financing Uses	0.00	0.00	0.00
Beginning Cash Balance		123,615.31	
Total Receipts and Other Financing Sources		0.00	
Total Disbursements and Other Financing Uses		0.00	
Cash Balance as of 08/06/2021		123,615.31	

As on 8/6/2021

Water

	<u>Budget</u>	<u>Actual</u>	<u>Variance</u>
Receipts:			
Water Fee	0.00	50,233.93	50,233.93
Penalty - Late Water/Sewer	0.00	541.10	541.10
State and Misc fees	0.00	1,739.33	1,739.33
Total Acct 341	0.00	52,514.36	52,514.36
Delinquent Water/Sewer Fees	0.00	468.51	468.51
Miscellaneous	0.00	5,790.79	5,790.79
Total Acct 361	0.00	6,259.30	6,259.30
Total Revenues	0.00	58,773.66	58,773.66
Other Financing Sources:			
Total Other Financing Sources	0.00	0.00	0.00
Disbursements:			
Postage/Postal Permits			
Refunds and Reimbursements	0.00	231.00	(231.00)
Total Acct 414	0.00	231.00	(231.00)
Financial Administration			
Contracted Services	0.00	6,213.30	(6,213.30)
Total Acct 415	0.00	6,213.30	(6,213.30)
Office Operations Supplies			
Operating Supplies (211 through 219)	0.00	243.26	(243.26)
Newsletter			
Printing and Binding (351 through 359)	0.00	498.87	(498.87)
Total Acct 419	0.00	742.13	(742.13)
Water Utility			
Repair and Maintenance Supplies (221 through 229)	0.00	438.84	(438.84)
Contracted Services	0.00	47,900.43	(47,900.43)
Utility Services: Electric Utilities	0.00	89.82	(89.82)
Fees	0.00	1,720.00	(1,720.00)
Wtr/Swr Emergency			
Repair and Maintenance Supplies (221 through 229)	0.00	800.00	(800.00)
PROFESSIONAL SERVICES (301 through 319)	0.00	1,041.50	(1,041.50)
Contracted Services	0.00	19,983.56	(19,983.56)
Total Acct 431	0.00	71,974.15	(71,974.15)
MISCELLANEOUS			
Miscellaneous (431 through 499)	0.00	8,181.90	(8,181.90)
Total Acct 490	0.00	8,181.90	(8,181.90)
Total Disbursements	0.00	87,342.48	(87,342.48)
Other Financing Uses:			
Transfer To Enterprise Fund			
Interfund Transfers	0.00	35,000.00	(35,000.00)
Total Acct 493	0.00	35,000.00	(35,000.00)
Total Other Financing Uses	0.00	35,000.00	(35,000.00)
Beginning Cash Balance		69,874.41	
Total Receipts and Other Financing Sources		58,773.66	
Total Disbursements and Other Financing Uses		122,342.48	
Cash Balance as of 08/06/2021		6,305.59	

As on 8/6/2021

Sewer

	<u>Budget</u>	<u>Actual</u>	<u>Variance</u>
Receipts:			
Penalty - Late Water/Sewer	0.00	447.29	447.29
Sewer Fee	0.00	58,584.10	58,584.10
Total Acct 341	0.00	59,031.39	59,031.39
Delinquent Water/Sewer Fees	0.00	468.51	468.51
Total Acct 361	0.00	468.51	468.51
MISCELLANEOUS REVENUES	0.00	10,821.14	10,821.14
Total Acct 362	0.00	10,821.14	10,821.14
Total Revenues	0.00	70,321.04	70,321.04
Other Financing Sources:			
Total Other Financing Sources	0.00	0.00	0.00
Disbursements:			
Postage/Postal Permits			
Refunds and Reimbursements	0.00	1,034.00	(1,034.00)
Total Acct 414	0.00	1,034.00	(1,034.00)
Office Operations Supplies			
Operating Supplies (211 through 219)	0.00	243.26	(243.26)
Total Acct 419	0.00	243.26	(243.26)
Utility Locates			
Contracted Services	0.00	282.20	(282.20)
Total Acct 428	0.00	282.20	(282.20)
Sewer Utility			
Sewer - Wastewater Charge	0.00	39,905.36	(39,905.36)
Contracted Services	0.00	22,820.57	(22,820.57)
Utility Services (381 through 389)	0.00	5,602.76	(5,602.76)
Utility Services: Gas Utilities	0.00	388.98	(388.98)
Total Acct 431	0.00	68,717.67	(68,717.67)
Unallocated Expenditures			
Miscellaneous (431 through 499)	0.00	13,100.00	(13,100.00)
Total Acct 492	0.00	13,100.00	(13,100.00)
Total Disbursements	0.00	83,377.13	(83,377.13)
Other Financing Uses:			
Total Other Financing Uses	0.00	0.00	0.00
Beginning Cash Balance		130,204.36	
Total Receipts and Other Financing Sources		70,321.04	
Total Disbursements and Other Financing Uses		83,377.13	
Cash Balance as of 08/06/2021		117,148.27	